

Christchurch City Council

**William Massey
Housing Complex
PRO 0925**

**Detailed Engineering Evaluation
Quantitative Assessment Report**





Christchurch City Council

William Massey Housing Complex

Quantitative Assessment Report

**182 Ensors Road, Woolston,
Christchurch 8023**

Prepared By



Claire Ford
Building Technician

Opus International Consultants Ltd
Christchurch Office
20 Moorhouse Avenue
PO Box 1482, Christchurch Mail
Centre, Christchurch 8140
New Zealand

Reviewed By

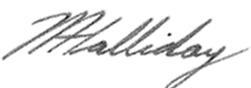


Lachlan Howat
Graduate Structural Engineer

Telephone: +64 3 363 5400
Facsimile: +64 3 365 7858

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Approved for
Release By



Mary Ann Halliday
Senior Structural Engineer

Summary

William Massey Courts Housing Complex
PRO 0925

Detailed Engineering Evaluation
Quantitative Report - Summary
Final

Background

This is a summary of the quantitative report for the William Massey Courts Housing Complex, and is based on the Detailed Engineering Evaluation Procedure document (draft) issued by the Structural Advisory Group on 19 July 2011. This assessment covers the 14 residential units.

Key Damage Observed

The residential units suffered minor damage to non-structural elements. This included cracking of footpaths.

Structural damage to the residential units was generally minor and was limited to the cracking of the wall and ceiling linings in some of the residential units.

Level Survey

All floor slopes assessed were less than the 5mm/m limitation set out in the MBIE guidelines [6].

Critical Structural Weaknesses

No critical structural weaknesses were found in any of the buildings.

Indicative Building Strength

No buildings on the site are considered to be earthquake prone.

Table A: Summary of Seismic Performance by Blocks

Block	DEE Code	NBS%
Block A	PRO 0925 B001	58%
Block B	PRO 0925 B002	58%
Block C	PRO 0925 B003	58%

The residential units have capacities of 58% NBS and are limited by the in-plane shear capacity lined timber-framed shear walls in the longitudinal direction.

Increasing the number of nails in the plasterboard will not significantly improve the strength of the building.

Recommendations

It is recommended that;

- All buildings be strengthened to at least 67% NBS.
- Veneer at height (gable ends) have the veneer ties checked.
- Cosmetic repairs are undertaken.

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1 Introduction

Opus International Consultants Limited has been engaged by Christchurch City Council to undertake a detailed seismic assessment of the William Massey Courts Housing Complex, located at 182 Ensors Road, Woolston, Christchurch, following the Canterbury Earthquake Sequence since September 2010. The site was visited by Opus International Consultants on 12 July 2013.

The purpose of the assessment is to determine if the buildings in the village are classed as being earthquake prone in accordance with the Building Act 2004.

The seismic assessment and reporting have been undertaken based on the qualitative and quantitative procedures detailed in the Detailed Engineering Evaluation Procedure (DEEP) document (draft) issued by the Structural Engineering Society (SESOC) [2] [3] [4] [5].

2 Compliance

This section contains a brief summary of the requirements of the various statutes and authorities that control activities in relation to buildings in Christchurch at present.

2.1 Canterbury Earthquake Recovery Authority (CERA)

CERA was established on 28 March 2011 to take control of the recovery of Christchurch using powers established by the Canterbury Earthquake Recovery Act enacted on 18 April 2011. This act gives the Chief Executive Officer of CERA wide powers in relation to building safety, demolition and repair. Two relevant sections are:

Section 38 – Works

This section outlines a process in which the chief executive can give notice that a building is to be demolished and if the owner does not carry out the demolition, the chief executive can commission the demolition and recover the costs from the owner or by placing a charge on the owners' land.

Section 51 – Requiring Structural Survey

This section enables the chief executive to require a building owner, insurer or mortgagee to carry out a full structural survey before the building is re-occupied.

We understand that CERA require a detailed engineering evaluation to be carried out for all buildings (other than those exempt from the Earthquake Prone Building definition in the Building Act). CERA have adopted the Detailed Engineering Evaluation Procedure (DEEP) document (draft) issued by the Structural Engineering Society (SESOC) on 19 July 2011. This document sets out a methodology for both initial qualitative and detailed quantitative assessments.

It is anticipated that a number of factors, including the following, will determine the extent of evaluation and strengthening level required:

1. The importance level and occupancy of the building.

2. The placard status and amount of damage.
3. The age and structural type of the building.
4. Consideration of any critical structural weaknesses.

Christchurch City Council requires any building with a capacity of less than 34% of New Building Standard (including consideration of critical structural weaknesses) to be strengthened to a target of 67% as required under the CCC Earthquake Prone Building Policy.

2.2 Building Act

Several sections of the Building Act are relevant when considering structural requirements:

Section 112 - Alterations

This section requires that an existing building complies with the relevant sections of the Building Code to at least the extent that it did prior to the alteration. This effectively means that a building cannot be weakened as a result of an alteration (including partial demolition).

The Earthquake Prone Building policy for the territorial authority shall apply as outlined in Section 2.3 of this report.

Section 115 – Change of Use

This section requires that the territorial authority is satisfied that the building with a new use complies with the relevant sections of the Building Code ‘as near as is reasonably practicable’.

This is typically interpreted by territorial authorities as being 67% of the strength of an equivalent new building or as near as practicable. This is also the minimum level recommended by the New Zealand Society for Earthquake Engineering (NZSEE).

Section 121 – Dangerous Buildings

This section was extended by the Canterbury Earthquake (Building Act) Order 2010, and defines a building as dangerous if:

1. In the ordinary course of events (excluding the occurrence of an earthquake), the building is likely to cause injury or death or damage to other property; or
2. In the event of fire, injury or death to any persons in the building or on other property is likely because of fire hazard or the occupancy of the building; or
3. There is a risk that the building could collapse or otherwise cause injury or death as a result of earthquake shaking that is less than a ‘moderate earthquake’ (refer to Section 122 below); or
4. There is a risk that other property could collapse or otherwise cause injury or death;
or
5. A territorial authority has not been able to undertake an inspection to determine whether the building is dangerous.

Section 122 – Earthquake Prone Buildings

This section defines a building as earthquake prone (EPB) if its ultimate capacity would be exceeded in a ‘moderate earthquake’ and it would be likely to collapse causing injury or death, or damage to other property.

A moderate earthquake is defined by the building regulations as one that would generate loads 33% of those used to design an equivalent new building.

Section 124 – Powers of Territorial Authorities

This section gives the territorial authority the power to require strengthening work within specified timeframes or to close and prevent occupancy to any building defined as dangerous or earthquake prone.

Section 131 – Earthquake Prone Building Policy

This section requires the territorial authority to adopt a specific policy for earthquake prone, dangerous and insanitary buildings.

2.3 Christchurch City Council Policy

Christchurch City Council adopted their Earthquake Prone, Dangerous and Insanitary Building Policy in October 2011 following the Darfield Earthquake on 4 September 2010.

The policy includes the following:

1. A process for identifying, categorising and prioritising Earthquake Prone Buildings, commencing on 1 July 2012;
2. A strengthening target level of 67% of a new building for buildings that are Earthquake Prone;
3. A timeframe of 15-30 years for Earthquake Prone Buildings to be strengthened; and,
4. Repair works for buildings damaged by earthquakes will be required to comply with the above.

The council has stated their willingness to consider retrofit proposals on a case by case basis, considering the economic impact of such a retrofit.

If strengthening works are undertaken, a building consent will be required. A requirement of the consent will require upgrade of the building to comply ‘as near as is reasonably practicable’ with:

- The accessibility requirements of the Building Code.
- The fire requirements of the Building Code. This is likely to require a fire report to be submitted with the building consent application.

Where an application for a change of use of a building is made to Council, the building will be required to be strengthened to 67% of New Building Standard or as near as is reasonably practicable.

2.4 Building Code

The Building Code outlines performance standards for buildings and the Building Act requires that all new buildings comply with this code. Compliance Documents published by The Department of Building and Housing can be used to demonstrate compliance with the Building Code.

On 19 May 2011, Compliance Document B1: Structure, was amended to include increased seismic design requirements for Canterbury as follows:

- Increase in the basic seismic design load for the Canterbury earthquake region (Z factor increased to 0.3 equating to an increase of 36 – 47% depending on location within the region);
- Increased serviceability requirements.

2.5 Institution of Professional Engineers New Zealand (IPENZ) Code of Ethics

One of the core ethical values of professional engineers in New Zealand is the protection of life and safeguarding of people. The IPENZ Code of Ethics requires that:

Members shall recognise the need to protect life and to safeguard people, and in their engineering activities shall act to address this need.

- 1.1 *Giving Priority to the safety and well-being of the community and having regard to this principle in assessing obligations to clients, employers and colleagues.*
- 1.2 *Ensuring that responsible steps are taken to minimise the risk of loss of life, injury or suffering which may result from your engineering activities, either directly or indirectly.*

All recommendations on building occupancy and access must be made with these fundamental obligations in mind.

3 Earthquake Resistance Standards

For this assessment, the building’s earthquake resistance is compared with the current New Zealand Building Code requirements for a new building constructed on the site. This is expressed as a percentage of new building standard (%NBS). The loadings are in accordance with the current earthquake loading standard NZS1170.5 [1].

A generally accepted classification of earthquake risk for existing buildings in terms of %NBS that has been proposed by the NZSEE 2006 [2] is presented in Figure 1 below.

Description	Grade	Risk	%NBS	Existing Building Structural Performance	Improvement of Structural Performance	
					Legal Requirement	NZSEE Recommendation
Low Risk Building	A or B	Low	Above 67	Acceptable (improvement may be desirable)	The Building Act sets no required level of structural improvement (unless change in use) This is for each TA to decide. Improvement is not limited to 34%NBS.	100%NBS desirable. Improvement should achieve at least 67%NBS
Moderate Risk Building	B or C	Moderate	34 to 66	Acceptable legally. Improvement recommended		Not recommended. Acceptable only in exceptional circumstances
High Risk Building	D or E	High	33 or lower	Unacceptable (Improvement required under Act)	Unacceptable	Unacceptable

Figure 1: NZSEE Risk Classifications Extracted from table 2.2 of the NZSEE 2006 AISPBE Guidelines [2]

Table 1 below compares the percentage NBS to the relative risk of the building failing in a seismic event with a 10% risk of exceedance in 50 years (i.e. 0.2% in the next year).

Table 1: %NBS compared to relative risk of failure

Percentage of New Building Standard (%NBS)	Relative Risk (Approximate)
>100	<1 time
80-100	1-2 times
67-80	2-5 times
33-67	5-10 times
20-33	10-25 times
<20	>25 times

3.1 Minimum and Recommended Standards

Based on governing policy and recent observations, Opus makes the following general recommendations:

3.1.1 Occupancy

The Canterbury Earthquake Order¹ in Council 16 September 2010, modified the meaning of “dangerous building” to include buildings that were identified as being EPB’s. As a result of this, we would expect such a building would be issued with a Section 124 notice, by the Territorial Authority, or CERA acting on their behalf, once they are made aware of our assessment. Based on information received from CERA to date and from the DBH guidance document dated 12 June 2012 [6], this notice is likely to prohibit occupancy of the building (or parts thereof), until its seismic capacity is improved to the point that it is no longer considered an EPB.

3.1.2 Cordoning

Where there is an overhead falling hazard, or potential collapse hazard of the building, the areas of concern should be cordoned off in accordance with current CERA/territorial authority guidelines.

3.1.3 Strengthening

Industry guidelines (NZSEE 2006 [2]) strongly recommend that every effort be made to achieve improvement to at least 67%NBS. A strengthening solution to anything less than 67%NBS would not provide an adequate reduction to the level of risk.

It should be noted that full compliance with the current building code requires building strength of 100%NBS.

3.1.4 Our Ethical Obligation

In accordance with the IPENZ code of ethics, we have a duty of care to the public. This obligation requires us to identify and inform CERA of potentially dangerous buildings; this would include earthquake prone buildings.

¹ This Order only applies to buildings within the Christchurch City, Selwyn District and Waimakariri District Councils authority.

4 Background Information

4.1 Building Descriptions

The site contains 14 residential units which were constructed in 1975. The units are numbered 1 to 14 and are grouped to form two blocks of four units and one block of six units. A site plan showing the locations of the units is shown in Figure 2. Figure 3 shows the location of the site in Christchurch City.



Figure 2: Site plan of William Massey Courts Housing Complex.

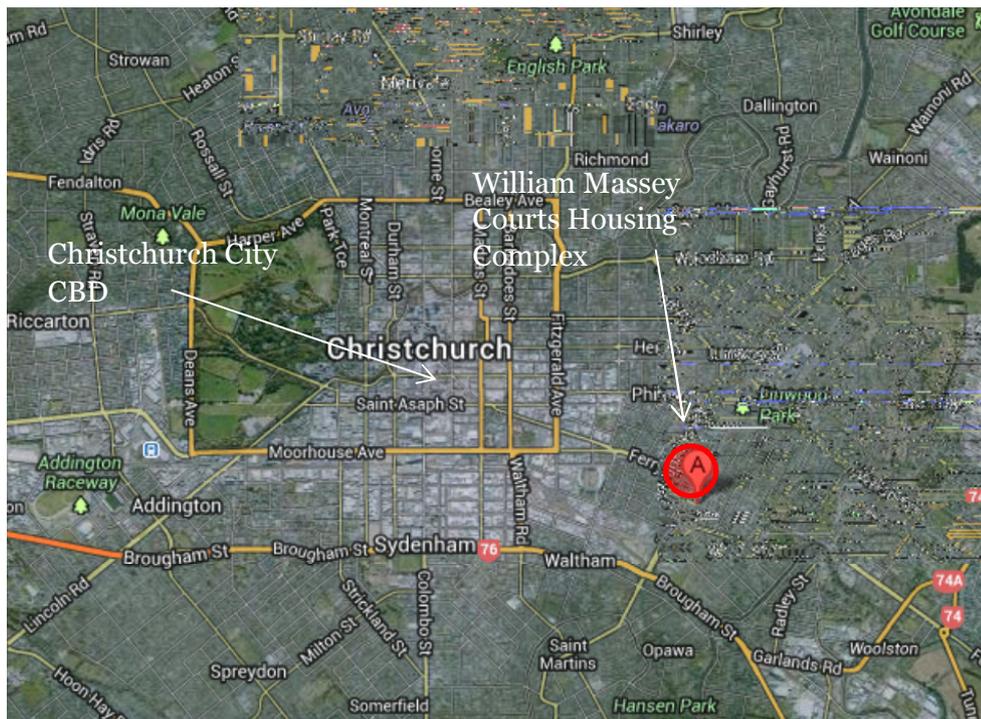


Figure 3: Location of site relative to Christchurch City CBD (Source: Google Maps).

The residential units are timber-framed buildings with diagonal timber braces. The roof is constructed using timber trusses supporting light-weight metal roofs on timber sarking. Walls and ceilings are lined with GIB and GIB/pinex respectively. Cladding on the external walls of the bathroom and kitchen is light-weight tongue and groove timber panel with the remaining wall areas clad with concrete block veneer. Foundations are strip footings under fire walls and around the perimeter of reinforced concrete slabs. Figure 4 shows a typical floor plan of a residential unit produced from site measurements by Opus. Figure 5 shows a typical cross section of a residential unit from plans at Harold Denton Courts. This cross section is comparable to William Massey Courts; this has been confirmed using the site measurements by Opus.

The units are separated by 190mm block masonry fire walls which (based on information available for other similar blocks of the same era) is potentially filled with reinforcement to its perimeter. A reinforced bond beam is located mid-level within the block fire wall.

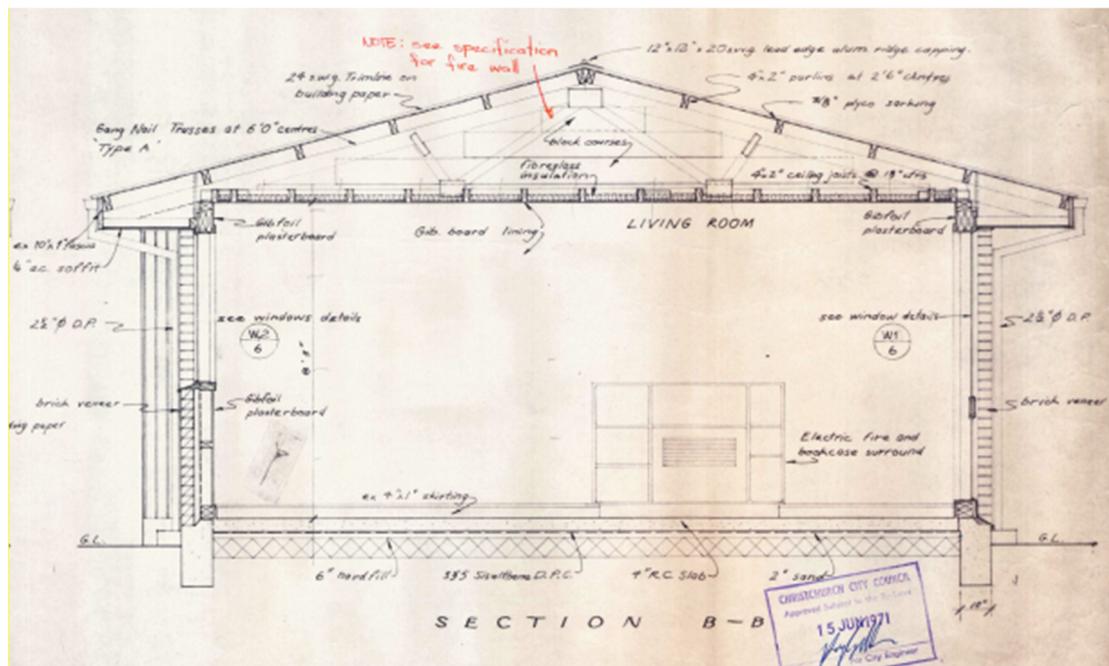


Figure 5: Typical cross section of a residential unit (from Harold Denton Housing Complex).

4.2 Survey

4.2.1 Post 22 February 2011 Rapid Assessment

A structural (Level 1) assessment of the buildings/property was undertaken on March 7th, 2011 by Opus International Consultants. No damage was noted. A summary is provided in Section 5.

4.2.2 Further Inspections

After the Level 1 structural assessment no further rapid inspections were deemed necessary.

4.2.3 Level Survey

A full level survey was not deemed to be necessary at William Massey Courts Housing Complex as it is located in a TC2 zone (Figure 8). Properties in TC2 zones suffered minor to moderate amounts of damage due to liquefaction and/or settlement. In lieu of a full level survey, a laser level was placed in each unit so that differentials in vertical levels could be measured at the extreme ends of the unit. These values could then be used to determine the floor slope of the entire unit. For this site, the floor slopes in all units were less than the 5mm/m limitation set out in the MBIE guidelines [6].

4.3 Original Documentation

Copies of the following construction drawings were provided by CCC:

- A223 – Christchurch City Council – Ensors Road Elderly Person Housing [Series IA] – Site plan, general arrangement and firewall plans – June 1974

The drawings have been used to confirm the structural systems, investigate potential critical structural weaknesses (CSW) and identify details which required particular attention.

Copies of the design calculations were not provided.

5 Structural Damage

This section outlines the damage to the buildings that was observed during site visits. It is not intended to be a complete summary of the damage sustained by the buildings due to the earthquakes. Some forms of damage may not be able to be identified with a visual inspection only.

Note: Any photo referenced in this section can be found in Appendix A.

5.1 Residual Displacements

There are no indications of settlement due to earthquake imposed actions.

5.2 Foundations

No damage to foundations was observed.

5.3 Primary Gravity Structure

No damage was observed to the timber framed walls or roof truss structure.

5.4 Primary Lateral-Resistance Structure

No damage was observed to the primary lateral-resistance structures.

5.5 Non Structural Elements

Minor cracking of ceiling diaphragms and of GIB-lined walls was observed in the majority of the units (photos 6 and 7).

5.6 General Observations

The buildings appeared to have performed reasonably well, as would be expected for buildings of this type, during the earthquakes. They have suffered distributed amounts of minor damage which is typical of the construction type and age of construction.

6 Detailed Seismic Assessment

The detailed seismic assessment has been based on the NZSEE 2006 [2] guidelines for the “Assessment and Improvement of the Structural Performance of Buildings in Earthquakes” together with the “Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-residential Buildings in Canterbury, Part 2 Evaluation Procedure” [3] draft document prepared by the Engineering Advisory Group on 19 July 2011, and the SESOC guidelines “Practice Note – Design of Conventional Structural Systems Following Canterbury Earthquakes” [5] issued on 21 December 2011.

As all of the residential units have the same floor plan, the analysis was simplified by conducting the analysis of one multi-unit block with brick cladding and using this for all multi-unit blocks.

6.1 Critical Structural Weaknesses

The term Critical Structural Weakness (CSW) refers to a component of a building that could contribute to increased levels of damage or cause premature collapse of a building. During the initial qualitative stage of the assessment the following potential CSW's were identified for each of the buildings and have been considered in the quantitative analysis.

No critical structural weaknesses were identified in the buildings.

6.2 Quantitative Assessment Methodology

The assessment assumptions and methodology have been included in Appendix B. A brief summary follows:

Hand calculations were performed to determine seismic forces from the current building codes. These forces were applied globally to the structure and the capacities of the walls were calculated and used to estimate the %NBS. The walls, highlighted in Figure 6 and Figure 7, were used for bracing in their respective directions.

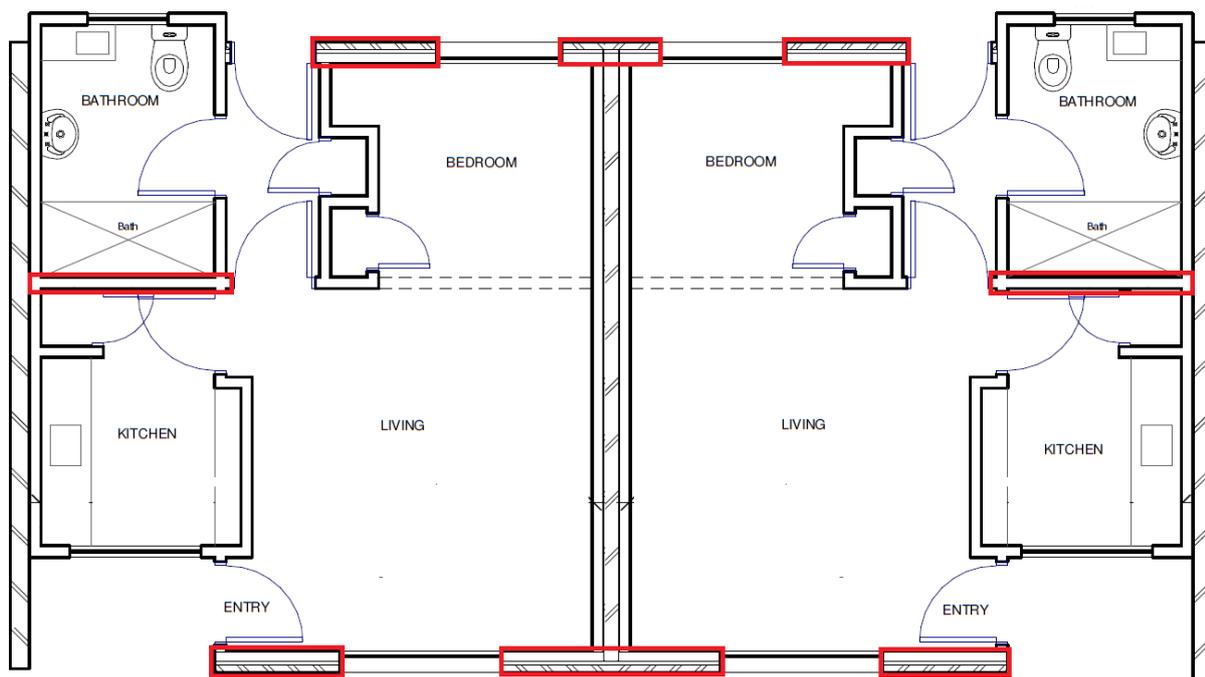


Figure 6: Walls used for bracing in the longitudinal direction.

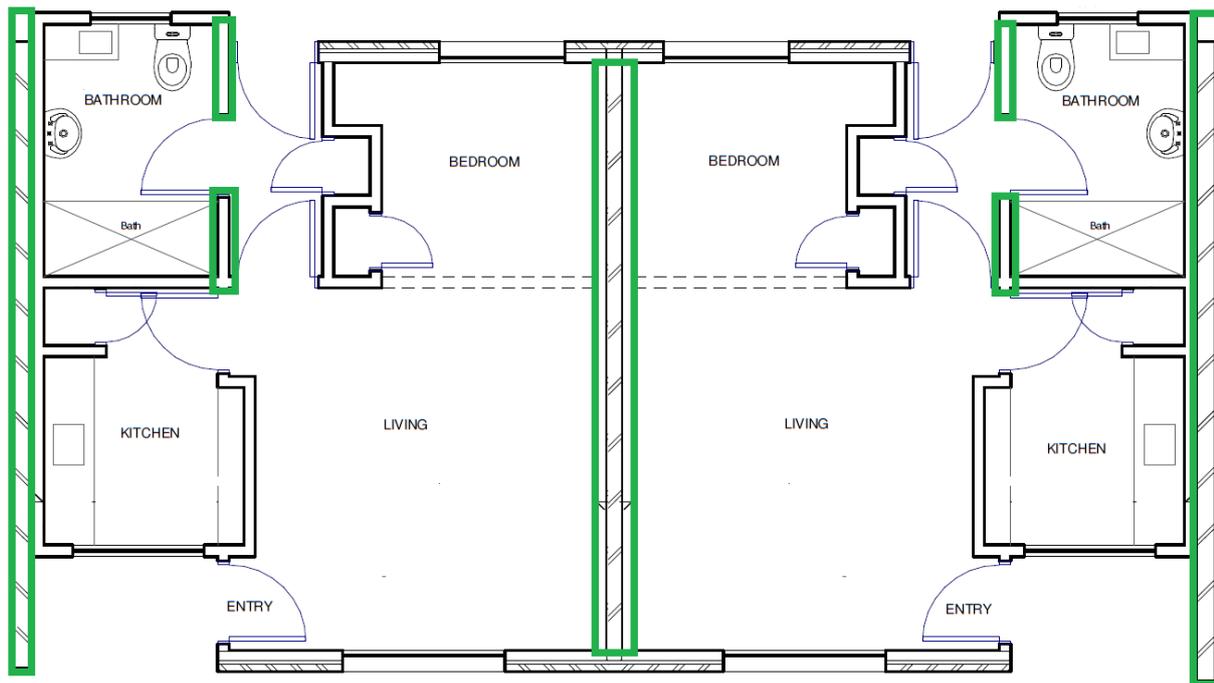


Figure 7: Walls used for bracing in the transverse direction.

6.3 Limitations and Assumptions in Results

The observed level of damage suffered by the buildings was deemed low enough to not affect their capacity. Therefore the analysis and assessment of the buildings was based on them being in an undamaged state. There may have been damage to the buildings that was unable to be observed that could cause the capacity of the buildings to be reduced; therefore the current capacity of the buildings may be lower than that stated.

The results have been reported as a %NBS and the stated value is that obtained from our analysis and assessment. Despite the use of best national and international practice in this analysis and assessment, this value contains uncertainty due to the many assumptions and simplifications which are made during the assessment. These include:

- Simplifications made in the analysis, including boundary conditions such as foundation fixity.
- Assessments of material strengths based on limited drawings, specifications and site inspections.
- The normal variation in material properties which change from batch to batch.
- Approximations made in the assessment of the capacity of each element, especially when considering the post-yield behaviour.
- Construction is consistent with normal practise of the era in which constructed.

6.4 Assessment

A summary of the structural performance of the buildings is shown in Table 2. Note that the values given represent the worst performing elements in the building, where these effectively define the building’s capacity. Other elements within the building may have significantly greater capacity when compared with the governing elements.

Table 2: Summary of Seismic Performance

Building Description	Critical element	% NBS based on calculated capacity in longitudinal direction	% NBS based on calculated capacity in transverse direction.
Blocks A-C	Bracing capacity of structural walls.	58%	100%

Increasing the number of nails in the plasterboard will not significantly improve the strength of the building.

7 Summary of Geotechnical Appraisal

CERA indicates that William Massey Courts Housing Complex is located in a TC2 zone (as shown in Figure 8). This classification suggests future significant earthquakes will cause minor to moderate land damage due to liquefaction and settlement.



Figure 8 : CERA Technical Categories map (loc. starred)

There is no evidence to suggest that further geotechnical investigation is warranted for this site.

8 Conclusions

- None of the buildings on site are considered to be Earthquake Prone.
- The residential units have a capacity of 58% NBS, as limited by the in-plane capacity of the bracing walls. They are deemed to be a ‘moderate risk’ in a design seismic event according to NZSEE guidelines. Their level of risk is 5-10 times that of a 100% NBS building (Figure 1).

9 Recommendations

It is recommended that;

- All buildings be strengthened to at least 67% NBS.
- Veneer at height (gable ends) have the veneer ties checked.
- Cosmetic repairs are undertaken.

10 Limitations

- This report is based on an inspection of the buildings and focuses on the structural damage resulting from the Canterbury Earthquake sequence since September 2010. Some non-structural damage may be described but this is not intended to be a complete list of damage to non-structural items.
- Our professional services are performed using a degree of care and skill normally exercised, under similar circumstances, by reputable consultants practicing in this field at this time.
- This report is prepared for the Christchurch City Council to assist in the assessment of any remedial works required for the William Massey Courts Housing Complex. It is not intended for any other party or purpose.

11 References

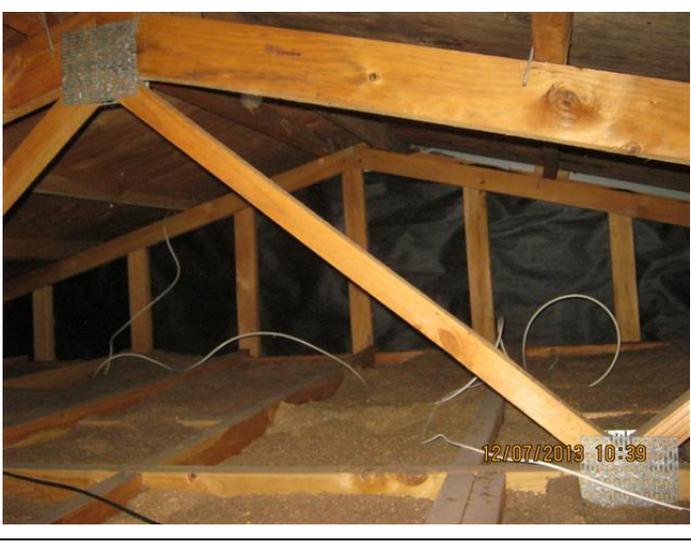
- [1] NZS 1170.5: 2004, Structural design actions, Part 5 Earthquake actions, Standards New Zealand.
- [2] NZSEE (2006), Assessment and improvement of the structural performance of buildings in earthquakes, New Zealand Society for Earthquake Engineering.
- [3] Engineering Advisory Group, Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-residential Buildings in Canterbury, Part 2 Evaluation Procedure, Draft Prepared by the Engineering Advisory Group, Revision 5, 19 July 2011.
- [4] Engineering Advisory Group, *Guidance on Detailed Engineering Evaluation of Non-residential buildings, Part 3 Technical Guidance*, Draft Prepared by the Engineering Advisory Group, 13 December 2011.
- [5] SESOC (2011), Practice Note – Design of Conventional Structural Systems Following Canterbury Earthquakes, Structural Engineering Society of New Zealand, 21 December 2011.
- [6] MBIE (2012), Repairing and rebuilding houses affected by the Canterbury earthquakes, Ministry of Building, Innovation and Employment, December 2012.

Appendix A - Photographs

William Massey Courts Housing Complex – Detailed Engineering Evaluation

William Massey Courts Housing Complex	
Residential Units	
1. Typical front elevation	
2. Typical rear elevation	
3. Typical offset connection of adjacent units	

William Massey Courts Housing Complex – Detailed Engineering Evaluation

4.	Typical ceiling space showing fire wall	 A photograph showing the interior of a ceiling space. A concrete block fire wall is visible, with a pipe running through it. The ceiling is made of wooden joists and sheathing. A timestamp in the bottom right corner reads "12/07/2013 10:39".
5.	Typical ceiling space showing gable ends	 A photograph showing the interior of a ceiling space, focusing on the gable ends. The structure consists of wooden joists and rafters. A timestamp in the bottom right corner reads "12/07/2013 10:39".
6.	Typical cracking damage to wall lining	 A photograph showing a close-up of a wall. The wall is covered in white wall lining, and there is a visible horizontal crack running across the top of the wall. A timestamp in the bottom right corner reads "12/07/2013 10:37".

William Massey Courts Housing Complex – Detailed Engineering Evaluation

7.	Typical cracking to ceiling	 <p>A photograph showing a white ceiling with a thin, dark crack running across it. The crack starts near the corner of the room and extends towards the center. A timestamp in the bottom right corner reads "12/07/2013 10:52".</p>
8.	Typical GIB nail spacing	 <p>A photograph showing a vertical measuring tape held against a white wall. The tape is marked in centimeters and millimeters. Two small holes, likely from nails, are visible on the wall. The spacing between the holes is approximately 400 mm. A timestamp in the bottom right corner reads "12/07/2013 10:43".</p>
9.	Settlement of stormwater traps	 <p>A photograph showing a stormwater trap. A white pipe extends vertically from a circular concrete trap. The trap is surrounded by grass and soil. The trap appears to be slightly sunken into the ground. A timestamp in the bottom right corner reads "12/07/2013 11:11".</p>

Appendix B - Methodology and Assumptions

Seismic Parameters

As per NZS 1170.5:

- $T < 0.4s$ (assumed)
- Soil: Category D
- $Z = 0.3$
- $R = 1.0$ (IL2, 50 year)
- $N(T,D) = 1.0$

For the analysis a μ of 2 was assumed for the residential units.

Analysis Procedure

As the units are small and have a number of closely spaced walls in both directions, the fibrous plaster board ceilings are assumed to be capable of transferring loads to all walls. It was therefore assumed that a global method could be used to carry the forces down to ground level in each direction. Bracing capacities were found by assuming a certain kN/m rating for the walls along each line. Due to the relatively unknown nature of the walls, the kN/m rating was taken as 3 kN/m for all timber walls with an aspect ratio (height: length) of less than 2:1. This was scaled down to zero kN/m at an aspect ratio of 3.5:1 as per NZSEE guidelines. %NBS values were then found through the ratio of bracing demand to bracing capacity for all walls in each direction.

Additional Assumptions

Further assumptions about the seismic performance of the buildings were:

- Foundations and foundation connections had adequate capacity to resist and transfer earthquake loads.
- Connections between all elements of the lateral load resisting systems are detailed to adequately transfer their loads sufficiently and are strong enough so as to not fail before the lateral load resisting elements.

Appendix C - CERA DEE Spreadsheet

Location		Building Name: <input type="text" value="William Massey Courts"/>	Unit No: <input type="text" value="182"/>	Street: <input type="text" value="Ensors Road"/>	Reviewer: <input type="text" value="Mary Ann Halliday"/>
Building Address: <input type="text" value="Units 1-14"/>	Legal Description: <input type="text" value="Residential Units"/>				CPEng No: <input type="text" value="67073"/>
			Company: <input type="text" value="OPUS International Consultants Ltd"/>		
			Company project number: <input type="text" value="6-QC418.00"/>		
			Company phone number: <input type="text" value="6433635400"/>		
GPS south: <input type="text" value="43 32 38.49"/>		Degrees		Min Sec	
GPS east: <input type="text" value="172 39 54.56"/>					
Building Unique Identifier (CCC): <input type="text" value="PRO 0925"/>			Date of submission: <input type="text" value="Sep-13"/>		
			Inspection Date: <input type="text" value="12-Jul-13"/>		
			Revision: <input type="text" value="Final"/>		
			Is there a full report with this summary? <input type="text" value="yes"/>		

Site		Site slope: <input type="text" value="flat"/>	Max retaining height (m): <input type="text"/>
		Soil type: <input type="text"/>	Soil Profile (if available): <input type="text"/>
		Site Class (to NZS1170.5): <input type="text" value="D"/>	
Proximity to waterway (m, if <100m): <input type="text"/>		If Ground improvement on site, describe: <input type="text"/>	
Proximity to cliff top (m, if < 100m): <input type="text"/>			
Proximity to cliff base (m,if <100m): <input type="text"/>		Approx site elevation (m): <input type="text" value="5.00"/>	

Building		No. of storeys above ground: <input type="text" value="1"/>	single storey = 1	Ground floor elevation (Absolute) (m): <input type="text"/>
		Ground floor split?: <input type="text" value="no"/>		Ground floor elevation above ground (m): <input type="text"/>
		Storeys below ground: <input type="text" value="0"/>		
		Foundation type: <input type="text" value="strip footings"/>		if Foundation type is other, describe: <input type="text"/>
		Building height (m): <input type="text" value="4.00"/>	height from ground to level of uppermost seismic mass (for IEP only) (m): <input type="text"/>	
		Floor footprint area (approx): <input type="text"/>		Date of design: <input type="text" value="1965-1976"/>
		Age of Building (years): <input type="text" value="38"/>		
		Strengthening present?: <input type="text" value="no"/>		If so, when (year)? <input type="text"/>
		Use (ground floor): <input type="text" value="multi-unit residential"/>		And what load level (%g)? <input type="text"/>
		Use (upper floors): <input type="text"/>		Brief strengthening description: <input type="text"/>
		Use notes (if required): <input type="text"/>		
		Importance level (to NZS1170.5): <input type="text" value="IL2"/>		

Gravity Structure		Gravity System: <input type="text" value="frame system"/>	rafter type, purlin type and cladding: <input type="text"/>
		Roof: <input type="text" value="timber framed"/>	slab thickness (mm): <input type="text"/>
		Floors: <input type="text" value="concrete flat slab"/>	type: <input type="text"/>
		Beams: <input type="text" value="timber"/>	
		Columns: <input type="text"/>	
		Walls: <input type="text"/>	

Lateral load resisting structure		Lateral system along: <input type="text" value="lightweight timber framed walls"/>	Note: Define along and across in detailed report!	note typical wall length (m): <input type="text"/>
		Ductility assumed, μ: <input type="text" value="2.00"/>		estimate or calculation? <input type="text" value="estimated"/>
		Period along: <input type="text" value="0.10"/>		estimate or calculation? <input type="text"/>
		Total deflection (ULS) (mm): <input type="text"/>		estimate or calculation? <input type="text"/>
		maximum interstorey deflection (ULS) (mm): <input type="text"/>		
		Lateral system across: <input type="text" value="lightweight timber framed walls"/>		note typical wall length (m): <input type="text"/>
		Ductility assumed, μ: <input type="text" value="2.00"/>		estimate or calculation? <input type="text" value="estimated"/>
		Period across: <input type="text" value="0.10"/>		estimate or calculation? <input type="text"/>
		Total deflection (ULS) (mm): <input type="text"/>		estimate or calculation? <input type="text"/>
		maximum interstorey deflection (ULS) (mm): <input type="text"/>		estimate or calculation? <input type="text"/>

Separations:		north (mm): <input type="text"/>	leave blank if not relevant
		east (mm): <input type="text"/>	
		south (mm): <input type="text"/>	
		west (mm): <input type="text"/>	

Non-structural elements		Stairs: <input type="text"/>	describe (note cavity if exists): <input type="text"/>
		Wall cladding: <input type="text" value="brick or tile"/>	describe: <input type="text" value="Lightweight"/>
		Roof Cladding: <input type="text" value="Metal"/>	
		Glazing: <input type="text" value="aluminium frames"/>	
		Ceilings: <input type="text" value="strapped or direct fixed"/>	
		Services(list): <input type="text"/>	

Available documentation		Architectural: <input type="text" value="full"/>	original designer name/date: <input type="text" value="Christchurch City Council, Undated"/>
		Structural: <input type="text" value="partial"/>	original designer name/date: <input type="text" value="Christchurch City Council, Undated"/>
		Mechanical: <input type="text" value="none"/>	original designer name/date: <input type="text"/>
		Electrical: <input type="text" value="none"/>	original designer name/date: <input type="text"/>
		Geotech report: <input type="text" value="none"/>	original designer name/date: <input type="text"/>

Damage Site:		Site performance: <input type="text" value="Good"/>	Describe damage: <input type="text"/>
(refer DEE Table 4-2)		Settlement: <input type="text" value="none observed"/>	notes (if applicable): <input type="text"/>
		Differential settlement: <input type="text" value="none observed"/>	notes (if applicable): <input type="text"/>
		Liquefaction: <input type="text" value="none apparent"/>	notes (if applicable): <input type="text"/>
		Lateral Spread: <input type="text" value="none apparent"/>	notes (if applicable): <input type="text"/>
		Differential lateral spread: <input type="text" value="none apparent"/>	notes (if applicable): <input type="text"/>
		Ground cracks: <input type="text" value="none apparent"/>	notes (if applicable): <input type="text"/>
		Damage to area: <input type="text" value="slight"/>	notes (if applicable): <input type="text"/>

Building:		Current Placard Status: <input type="text" value="green"/>	Describe how damage ratio arrived at: <input type="text"/>
Along	Damage ratio: <input type="text" value="0%"/>	Describe (summary): <input type="text"/>	$Damage_Ratio = \frac{(\%NBS\ (before) - \%NBS\ (after))}{\%NBS\ (before)}$
Across	Damage ratio: <input type="text" value="0%"/>		
Diaphragms	Damage?: <input type="text" value="no"/>	Describe: <input type="text"/>	
CSWs:	Damage?: <input type="text" value="no"/>	Describe: <input type="text"/>	
Pounding:	Damage?: <input type="text" value="no"/>	Describe: <input type="text"/>	
Non-structural:	Damage?: <input type="text" value="yes"/>	Describe: <input type="text" value="minor GIB cracking"/>	

Recommendations		Level of repair/strengthening required: <input type="text" value="minor non-structural"/>	Describe: <input type="text"/>
		Building Consent required: <input type="text" value="no"/>	Describe: <input type="text"/>
		Interim occupancy recommendations: <input type="text" value="full occupancy"/>	Describe: <input type="text"/>
Along	Assessed %NBS before e'quakes: <input type="text" value="58%"/>	#### %NBS from IEP below	If IEP not used, please detail assessment methodology: <input type="text" value="Equivalent Static"/>
	Assessed %NBS after e'quakes: <input type="text" value="58%"/>		
Across	Assessed %NBS before e'quakes: <input type="text" value="100%"/>	#### %NBS from IEP below	
	Assessed %NBS after e'quakes: <input type="text" value="100%"/>		



Opus International Consultants Ltd
20 Moorhouse Avenue
PO Box 1482, Christchurch Mail Centre,
Christchurch 8140
New Zealand

t: +64 3 363 5400
f: +64 3 365 7858
w: www.opus.co.nz