

Christchurch City Council  
PRK\_0348\_BLDG\_002 EQ2  
Groynes Toilet & Yacht Club Pavilion  
182 Johns Rd



QUALITATIVE REPORT  
FINAL

- Rev B
- 23 September 2013



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182 Johns Rd  
QUALITATIVE ASSESSMENT REPORT

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## Contents

<b>1. Executive Summary</b>	<b>1</b>
1.1. Background	1
1.2. Key Damage Observed	2
1.3. Critical Structural Weaknesses	2
1.4. Indicative Building Strength (from IEP and CSW assessment)	2
1.5. Recommendations	2
<b>2. Introduction</b>	<b>3</b>
<b>3. Compliance</b>	<b>4</b>
3.1. Canterbury Earthquake Recovery Authority (CERA)	4
3.2. Building Act	5
3.3. Christchurch City Council Policy	6
3.4. Building Code	7
<b>4. Earthquake Resistance Standards</b>	<b>8</b>
<b>5. Building Details</b>	<b>10</b>
5.1. Building description	10
5.2. Gravity Load Resisting system	10
5.3. Seismic Load Resisting system	10
5.4. Geotechnical Conditions	11
<b>6. Damage Summary</b>	<b>12</b>
<b>7. Initial Seismic Evaluation</b>	<b>13</b>
7.1. The Initial Evaluation Procedure Process	13
7.2. Design Criteria and Limitations	15
7.3. Survey	15
7.4. Critical Structural Weaknesses	16
7.5. Qualitative Assessment Results	16
<b>8. Further Investigation</b>	<b>17</b>
<b>9. Conclusion</b>	<b>18</b>
<b>10. Limitation Statement</b>	<b>19</b>
<b>11. Appendix 1 – Photos</b>	<b>20</b>
<b>12. Appendix 2 – IEP Reports</b>	<b>28</b>
<b>13. Appendix 3 – CERA Standardised Report Form</b>	<b>41</b>
<b>14. Appendix 4 – Geotechnical Desktop Study</b>	<b>44</b>



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# 1. Executive Summary

## 1.1. Background

A Qualitative Assessment was carried out on the Toilet and Yacht Club Pavilion building located at 182 Johns Rd. The building located on this site comprises of a model yacht club with public toilets either side. The yacht club is 20 series concrete masonry to 2.6m high with a timber framed roof structure clad with profiled metal roofing. The toilets either side consist of pitched roofs formed by rectangular steel rafters and timber purlins with profiled metal roof cladding. External walls consist of concrete masonry blockwork to 1.6m connected to the profiled metal roof members. To the south west of the buildings there is a concrete water tower supported on a steel frame and concrete slab foundation. Since the water tower is a fall hazard to the toilet and Yacht club we have assessed the water tower also. An aerial photograph illustrating these areas is shown below in Figure 1. Detailed descriptions outlining the buildings age and construction type are given in Section 5 of this report.



### ■ Figure 1 Aerial Photograph of 182 Johns Rd

The qualitative assessment includes a summary of the building damage as well as an initial assessment of the current seismic capacity compared with current seismic code loads using the Initial Evaluation Procedure (IEP).



This Qualitative report for the building structure is based on the Detailed Engineering Evaluation Procedure document (draft) issued by the Structural Advisory Group on 19 July 2011 and visual inspections on February 15<sup>th</sup>. No drawings were available.

## **1.2. Key Damage Observed**

Key damage observed includes:-

- Minor cracking to the concrete slab on grade
- Hairline cracking along the mortar bed joints between blocks.
- Cracking at the base of the steel A frames in the concrete footings

## **1.3. Critical Structural Weaknesses**

The building has no critical structural weaknesses.

The adjacent water tower, which poses a fall hazard to the Toilet and Yacht Club Pavilion, contains a critical structural weakness due to the absence of positive fixing of the tank to the supporting foundation.

## **1.4. Indicative Building Strength (from IEP and CSW assessment)**

Based on the information available, and using the NZSEE Initial Evaluation Procedure, the buildings original capacity has been assessed to be in the order of 61%NBS and post earthquake capacity in the order of 61%NBS. The buildings post earthquake capacity excluding critical structural weaknesses is in the order of 61%NBS. This assessment has been made without structural drawings and is accordingly limited.

The building has been assessed to have a seismic capacity in the order of 61% NBS and is therefore potentially earthquake prone.

The adjacent water tower has been assessed to have a seismic capacity in the order of 31% NBS and is therefore potentially earthquake prone.

## **1.5. Recommendations**

It is recommended that:

- a) There is no damage to the building that would cause it to be unsafe to occupy.
- b) We consider that barriers around the building are not necessary.
- c) The support frame on the water tank should be reinspected and a quantitative assessment carried out or alternatively the water tank should be demolished and the facility serviced with mains pressure water.

## 2. Introduction

Sinclair Knight Merz was engaged by Christchurch City Council to prepare a qualitative assessment report for the building located at 182 Johns Rd following the magnitude 6.3 earthquake which occurred in the afternoon of the 22nd of February 2011 and the subsequent aftershocks.

The Qualitative Assessment uses the methodology recommended in the Engineering Advisory Group document “Guidance on Detailed Engineering Evaluation of Earthquake affected Non-residential Buildings in Canterbury” (part 2 revision 5 dated 19/07/2011 and part 3 draft revision dated 13/12/2011). The qualitative assessment includes a summary of the building damage as well as an initial assessment of the likely current Seismic Capacity compared with current seismic code requirements.

A qualitative assessment involves inspections of the building and a desktop review of existing structural and geotechnical information, including existing drawings and calculations, if available.

The purpose of the assessment is to determine the likely building performance and damage patterns, to identify any potential critical structural weaknesses or collapse hazards, and to make an initial assessment of the likely building strength in terms of percentage of new building standard (%NBS).

This report describes the structural damage observed during our inspection and indicates suggested remediation measures. The inspection was undertaken from floor levels and was a visual inspection only. Our report reflects the situation at the time of the inspection and does not take account of changes caused by any events following our inspection.

The NZ Society for Earthquake Engineering (NZSEE) Initial Evaluation Procedure (IEP) was used to assess the likely performance of the building in a seismic event relative to the New Building Standard (NBS). 100% NBS is equivalent to the strength of a building that fully complies with current codes. This includes a recent increase of the Christchurch seismic hazard factor from 0.22 to 0.3<sup>1</sup>.

At the time of this report, no intrusive site investigation, detailed analysis, or modelling of the building structures had been carried out. Construction drawings were not available, cover meter survey was conducted at the time of inspection to confirm reinforcement and determine bar layout. The building descriptions below are based on a review of the drawings and our visual inspections.

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<sup>1</sup> <http://www.dbh.govt.nz/seismicity-info>

### **3. Compliance**

This section contains a summary of the requirements of the various statutes and authorities that control activities in relation to buildings in Christchurch at present.

#### **3.1. Canterbury Earthquake Recovery Authority (CERA)**

CERA was established on 28 March 2011 to take control of the recovery of Christchurch using powers established by the Canterbury Earthquake Recovery Act enacted on 18 April 2011. This act gives the Chief Executive Officer of CERA wide powers in relation to building safety, demolition and repair. Two relevant sections are:

##### **Section 38 – Works**

This section outlines a process in which the chief executive can give notice that a building is to be demolished and if the owner does not carry out the demolition, the chief executive can commission the demolition and recover the costs from the owner or by placing a charge on the owners' land.

##### **Section 51 – Requiring Structural Survey**

This section enables the chief executive to require a building owner, insurer or mortgagee carry out a full structural survey before the building is re-occupied.

We understand that CERA will require a detailed engineering evaluation to be carried out for all buildings (other than those exempt from the Earthquake Prone Building definition in the Building Act). It is anticipated that CERA will adopt the Detailed Engineering Evaluation Procedure document (draft) issued by the Structural Advisory Group on 19 July 2011. This document sets out a methodology for both qualitative and quantitative assessments.

The qualitative assessment is a desk-top and site inspection assessment. It is based on a thorough visual inspection of the building coupled with a review of available documentation such as drawings and specifications. The quantitative assessment involves analytical calculation of the buildings strength and may require non-destructive or destructive material testing, geotechnical testing and intrusive investigation.

It is anticipated that factors determining the extent of evaluation and strengthening level required will include:

- The importance level and occupancy of the building
- The placard status and amount of damage
- The age and structural type of the building
- Consideration of any critical structural weaknesses

- The extent of any earthquake damage

### **3.2. Building Act**

Several sections of the Building Act are relevant when considering structural requirements:

#### **3.2.1. Section 112 – Alterations**

This section requires that an existing building complies with the relevant sections of the Building Code to at least the extent that it did prior to any alteration. This effectively means that a building cannot be weakened as a result of an alteration (including partial demolition).

#### **3.2.2. Section 115 – Change of Use**

This section requires that the territorial authority (in this case Christchurch City Council (CCC)) be satisfied that the building with a new use complies with the relevant sections of the Building Code ‘as near as is reasonably practicable’. Regarding seismic capacity ‘as near as reasonably practicable’ has previously been interpreted by CCC as achieving a minimum of 67%NBS however where practical achieving 100%NBS is desirable. The New Zealand Society for Earthquake Engineering (NZSEE) recommend a minimum of 67%NBS.

#### **3.2.3. Section 121 – Dangerous Buildings**

The definition of dangerous building in the Act was extended by the Canterbury Earthquake (Building Act) Order 2010, and it now defines a building as dangerous if:

- in the ordinary course of events (excluding the occurrence of an earthquake), the building is likely to cause injury or death or damage to other property; or
- in the event of fire, injury or death to any persons in the building or on other property is likely because of fire hazard or the occupancy of the building; or
- there is a risk that the building could collapse or otherwise cause injury or death as a result of earthquake shaking that is less than a ‘moderate earthquake’ (refer to Section 122 below); or
- there is a risk that that other property could collapse or otherwise cause injury or death; or
- a territorial authority has not been able to undertake an inspection to determine whether the building is dangerous.

#### **3.2.4. Section 122 – Earthquake Prone Buildings**

This section defines a building as earthquake prone if its ultimate capacity would be exceeded in a ‘moderate earthquake’ and it would be likely to collapse causing injury or death, or damage to other property. A moderate earthquake is defined by the building regulations as one that would generate ground shaking 33% of the shaking used to design an equivalent new building.

### **3.2.5. Section 124 – Powers of Territorial Authorities**

This section gives the territorial authority the power to require strengthening work within specified timeframes or to close and prevent occupancy to any building defined as dangerous or earthquake prone.

### **3.2.6. Section 131 – Earthquake Prone Building Policy**

This section requires the territorial authority to adopt a specific policy for earthquake prone, dangerous and insanitary buildings.

## **3.3. Christchurch City Council Policy**

Christchurch City Council adopted their Earthquake Prone, Dangerous and Insanitary Building Policy in 2006. This policy was amended immediately following the Darfield Earthquake of the 4<sup>th</sup> September 2010.

The 2010 amendment includes the following:

- A process for identifying, categorising and prioritising Earthquake Prone Buildings, commencing on 1 July 2012;
- A strengthening target level of 67% of a new building for buildings that are Earthquake Prone. Council recognises that it may not be practicable for some repairs to meet that target. The council will work closely with building owners to achieve sensible, safe outcomes;
- A timeframe of 15-30 years for Earthquake Prone Buildings to be strengthened; and,
- Repair works for buildings damaged by earthquakes will be required to comply with the above.

The council has stated their willingness to consider retrofit proposals on a case by case basis, considering the economic impact of such a retrofit.

We anticipate that any building with a capacity of less than 34%NBS (including consideration of critical structural weaknesses) will need to be strengthened to a target of 67%NBS of new building standard as recommended by the Policy.

If strengthening works are undertaken, a building consent will be required. A requirement of the consent will require upgrade of the building to comply 'as near as is reasonably practicable' with:

- The accessibility requirements of the Building Code.
- The fire requirements of the Building Code. This is likely to require a fire report to be submitted with the building consent application.



### **3.4. Building Code**

The building code outlines performance standards for buildings and the Building Act requires that all new buildings comply with this code. Compliance Documents published by The Department of Building and Housing can be used to demonstrate compliance with the Building Code.

After the February Earthquake, on 19 May 2011, Compliance Document B1: Structure was amended to include increased seismic design requirements for Canterbury as follows:

- a) Hazard Factor increased from 0.22 to 0.3 (36% increase in the basic seismic design load)
- b) Serviceability Return Period Factor increased from 0.25 to 0.33 (80% increase in the serviceability design loads when combined with the Hazard Factor increase)

The increase in the above factors has resulted in a reduction in the level of compliance of an existing building relative to a new building despite the capacity of the existing building not changing.



## 4. Earthquake Resistance Standards

For this assessment, the building's earthquake resistance is compared with the current New Zealand Building Code requirements for a new building constructed on the site. This is expressed as a percentage of new building standard (%NBS). The new building standard load requirements have been determined in accordance with the current earthquake loading standard (NZS 1170.5:2004 Structural design actions - Earthquake actions - New Zealand).

The likely capacity of this building has been derived in accordance with the New Zealand Society for Earthquake Engineering (NZSEE) guidelines 'Assessment and Improvement of the Structural Performance of Buildings in Earthquakes' (AISPBE), 2006. These guidelines provide an Initial Evaluation Procedure that assesses a buildings capacity based on a comparison of loading codes from when the building was designed and currently. It is a quick high-level procedure that can be used when undertaking a Qualitative analysis of a building. The guidelines also provide guidance on calculating a modified Ultimate Limit State capacity of the building which is much more accurate and can be used when undertaking a Quantitative analysis.

The New Zealand Society for Earthquake Engineering has proposed a way for classifying earthquake risk for existing buildings in terms of %NBS and this is shown in Figure 2 below.

Description	Grade	Risk	%NBS	Existing Building Structural Performance	Improvement of Structural Performance	
					Legal Requirement	NZSEE Recommendation
Low Risk Building	A or B	Low	Above 67	Acceptable (improvement may be desirable)	The Building Act sets no required level of structural improvement (unless change in use) This is for each TA to decide. Improvement is not limited to 34%NBS.	100%NBS desirable. Improvement should achieve at least 67%NBS
Moderate Risk Building	B or C	Moderate	34 to 66	Acceptable legally. Improvement recommended		Not recommended. Acceptable only in exceptional circumstances
High Risk Building	D or E	High	33 or lower	Unacceptable (Improvement)	Unacceptable	Unacceptable

■ **Figure 2: NZSEE Risk Classifications Extracted from table 2.2 of the NZSEE 2006 AISPBE Guidelines**

Table 1 below provides an indication of the risk of failure for an existing building with a given percentage NBS, relative to the risk of failure for a new building that has been designed to meet current Building Code criteria (the annual probability of exceedance specified by current earthquake design standards for a building of 'normal' importance is 1/500, or 0.2% in the next year, which is equivalent to 10% probability of exceedance in the next 50 years).



■ **Table 1: %NBS compared to relative risk of failure**

<b>Percentage of New Building Standard (%NBS)</b>	<b>Relative Risk (Approximate)</b>
>100	<1 time
80-100	1-2 times
67-80	2-5 times
33-67	5-10 times
20-33	10-25 times
<20	>25 times

## **5. Building Details**

### **5.1. Building description**

A Qualitative Assessment was carried out on the Yacht Club and Toilet building located at 182 Johns Rd. The building is comprised of a model yacht club with public toilets either side. The yacht club is constructed from 20 series concrete masonry to 2.6m with a timber framed roof structure with profiled metal roofing. The toilets either side consist of pitched roofs formed by rectangular steel rafters and timber purlins with steel roof cladding. External walls of the toilets consist of concrete masonry blockwork to 1.6m connected to the steel roof members.

To the south west of the buildings there is a concrete water tower supported on a steel frame and concrete slab foundation. Generally the water tower is excluded from our assessment but as there is a fall hazard from the building we have included an assessment of its likely capacity below.

Our evaluation was based on site inspections and cover meter survey.

The buildings have been estimated to have been constructed the 1980 based on the materials and reinforcing present.

### **5.2. Gravity Load Resisting system**

Gravity loads to the Yacht club building are transferred through the roof framing down into the load bearing masonry walls and into the ground through perimeter strip foundations. The toilet block roof loads are transferred down the rectangular hollow sections and into the ground through the pad foundations at the base of the steel members and through the cleat connections to the masonry blockwork walls.

The water tank transfers loads down the steel equal angle legs and into the ground through concrete pad foundations.

### **5.3. Seismic Load Resisting system**

For the purposes of this report the longitudinal direction of the building is defined as being the north-south direction and the transverse direction is defined as being in the east-west direction.

Longitudinal lateral load on the building is carried through in plane action of the 8m long shear walls between the toilets and yacht club pavilion as well as through bending of the steel A frames. This load is transferred into the ground by concrete strip and pad foundations. Across the building transverse loads are carried through the roofs in diaphragm action of the timber framing and transferred into the half height and full height concrete masonry walls. Walls loads are transferred into the ground through the concrete perimeter strip footings.



Water tank lateral loads in both directions are transferred down the concrete tank into the steel framing and to the foundations through concentric bracing. The steel legs are supported on pad foundations which act to hold down the braced columns by providing mass.

#### **5.4. Geotechnical Conditions**

A geotechnical desktop study was carried out for this site. The main conclusions from this report are:

- The site has been assessed as NZS1170.5 Class D (deep or soft soil) from adjacent borehole logs.
- Liquefaction risk is low at this site.

Unless a change of use is intended for the site we do not believe that any further geotechnical investigations are required. Specific ground investigation should be undertaken if significant alterations or new structures are proposed. If any excavations are required on the site further investigation of the potential for contamination should be undertaken. The full geotechnical desktop study can be found in Appendix 4 – Geotechnical Desktop Study



## 6. Damage Summary

SKM undertook inspections on the following dates the 2<sup>nd</sup> of May 2012 and the 15<sup>th</sup> of February 2013. The following areas of damage were observed during the time of inspection:

Yacht Club and Toilets:

- 1) Minor cracking to the internal concrete slab on grade foundations
- 2) Hairline cracking through the mortar work joints

Water Tower:

- 3) The water tower appeared to be leaking causing water ponding around the base of the structure. This ponding of water will likely adversely affect the buildings foundations making collapse of the building more likely.

Photos of the above damage can be found in Appendix 1 – Photos.

## 7. Initial Seismic Evaluation

### 7.1. The Initial Evaluation Procedure Process

This section covers the initial seismic evaluation of the building as detailed in the NZSEE 'Assessment and Improvement of the Structural Performance of Buildings in Earthquakes'. The IEP grades buildings according to their likely performance in a seismic event. The procedure is not yet recognised by the NZ Building Code but is widely used and recognised by the Christchurch City Council as the preferred method for preliminary seismic investigations of buildings<sup>2</sup>.

The IEP is a coarse screening process designed to identify buildings that are likely to be earthquake prone. The IEP process ranks buildings according to how well they are likely to perform relative to a new building designed to current earthquake standards, as shown in Table 2. The building grade is indicated by the percent of the required New Building Standard (%NBS) strength that the building is considered to have. A building is earthquake prone for the purposes of this Act if, having regard to its condition and to the ground on which it is built, and because of its construction, the building—

- a) will have its ultimate capacity exceeded in a moderate earthquake (as defined in the regulations); and
- b) would be likely to collapse causing—
  - i. injury or death to persons in the building or to persons on any other property; or
  - ii. damage to any other property.

A moderate earthquake is defined as 'in relation to a building, an earthquake that would generate shaking at the site of the building that is of the same duration as, but that is one-third as strong as, the earthquake shaking (determined by normal measures of acceleration, velocity and displacement) that would be used to design a new building at the site.'

An earthquake prone building will have an increased risk that its strength will be exceeded due to earthquake actions of approximately 10 times (or more) than that of a building having a capacity in excess of 100% NBS (refer Table 1)<sup>3</sup>. Buildings in Christchurch City that are identified as being earthquake prone are required by law to be followed up with a detailed assessment and strengthening work within 30 years of the owner being notified that the building is potentially earthquake prone<sup>4</sup>.

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<sup>2</sup> <http://resources.ccc.govt.nz/files/EarthquakeProneDangerousAndInsanitaryBuildingsPolicy2010.pdf>

<sup>3</sup> NZSEE June 2006, *Assessment and Improvement of the Structural Performance of Buildings in Earthquakes*, p 2-13

<sup>4</sup> <http://resources.ccc.govt.nz/files/EarthquakeProneDangerousAndInsanitaryBuildingsPolicy2010.pdf>



**Table 2: IEP Risk classifications**

Description	Grade	Risk	%NBS	Structural performance
Low risk building	A+	Low	> 100	Acceptable. Improvement may be desirable.
	A		100 to 80	
	B		80 to 67	
Moderate risk building	C	Moderate	67 to 33	Acceptable legally. Improvement recommended.
High risk building	D	High	33 to 20	Unacceptable. Improvement required.
	E		< 20	

The IEP is a simple desktop study that is useful for risk management. No detailed calculations are done and so it relies on an inspection of the building and its plans to identify the structural members and describe the likely performance of the building in a seismic event. A review of the plans is also likely to identify any critical structural weaknesses. The IEP assumes that the building was properly designed and built according to the relevant codes at the time of construction. The IEP method rates buildings based on the code used at the time of construction and some more subjective parameters associated with how the building is detailed and so it is possible that %NBS derived from different engineers may differ.

This assessment describes only the likely seismic Ultimate Limit State (ULS) performance of the building. The ULS is the level of earthquake that can be resisted by the building without collapse or other forms of failure. The IEP does not attempt to estimate Serviceability Limit State (SLS) performance of the building, or the level of earthquake that would start to cause damage to the building<sup>5</sup>. This assessment concentrates on matters relating to life safety as damage to the building is a secondary consideration.

The NZ Building Code describes that the relevant codes for determining %NBS are primarily:

- AS/NZS 1170 Structural Design Actions
- NZS 3101:2006 Concrete Structures Standard
- NZS 3404:1997 Steel Structures Standard
- NZS4230:2004 Design of Reinforced Concrete Masonry Structures
- NZS 3603:1993 Timber Structures Standard
- NZS 3604:2011 Timber Framed Buildings

<sup>5</sup> NZSEE 2006, *Assessment and Improvement of the Structural Performance of Buildings in Earthquakes*, p2-9

## 7.2. Design Criteria and Limitations

Following our inspections on the 2<sup>nd</sup> of May 2012 and the 15<sup>th</sup> of February 2013, SKM carried out a preliminary structural review. The structural review was undertaken using the available information which was as follows:

- SKM site measurements and inspection findings of the building along with a cover meter survey of the reinforced walls. Please note no intrusive investigations were undertaken.
- Structural drawings were not available

The design criteria used to undertake the assessment include:

- Standard design assumptions for typical office and factory buildings as described in AS/NZS1170.0:2002
  - 50 year design life, which is the default NZ Building Code design life.
  - Structure importance level 2. This level of importance is described as 'normal' with medium or considerable consequence of failure.
  - Ductility level of 1.25, based on our assessment and code requirements at the time of design for reinforced masonry walls.
  - Site hazard factor,  $Z = 0.3$ , NZBC, Clause B1 Structure, Amendment 11 effective from 1 August 2011

This IEP was based on our visual inspection of the building and a cover meter survey. Since it is not a full design and construction review, it has the following limitations:

- It is not likely to pick up on any original design or construction errors (if they exist)
- Other possible issues that could affect the performance of the building such as corrosion and modifications to the building will not be identified
- The IEP deals only with the structural aspects of the building. Other aspects such as building services are not covered.
- The IEP does not involve a detailed analysis or an element by element code compliance check.

## 7.3. Survey

There was no visible settlement of the structures, nor were there any significant ground movement issues around the buildings. The building is adjacent to land which is zoned TC1 under the CERA Residential Technical Categories Map. The combination of these factors means that we do not recommend that any survey be undertaken at this point.

#### 7.4. Critical Structural Weaknesses

The water tower poses a potential hazard to the adjacent building as there is no visible connection between base and tank. A moderate earthquake may cause the friction forces holding the tank in place to be exceeded causing the structure to collapse.

#### 7.5. Qualitative Assessment Results

The building has had its capacity assessed using the Initial Evaluation Procedure based on the information available. The buildings capacity excluding critical structural weaknesses and the capacity of any identified weaknesses are expressed as a percentage of new building standard (%NBS) and are in the order of that shown below in Table 3. These capacities are subject to confirmation by a quantitative analysis.

**Table 3: Qualitative Assessment Summary**

<u>Item</u>	<u>%NBS</u>
Toilet and Yacht Club Pavilion Building excluding CSW's	61
Water Tower Building excluding CSW's	31

Our qualitative assessment found that the building is likely to be classed as a 'Moderate Risk Building' (capacity greater than 34% but less than 67% of NBS) but the neighbouring water tower is potentially earthquake prone and poses a risk to the building. The full IEP assessment forms are detailed in Appendix 2 – IEP Reports.

Further investigation is required to confirm our initial findings and establish possible strengthening concepts.



## **8. Further Investigation**

No further work is required to the Yacht Club and Toilet Building.

Due to the fall risk posed by the adjacent water tower we recommend that further work is carried out on the water tower. If drawings of the water tower foundations are not available significant intrusive investigation of the foundations will be required to carry out a quantitative assessment and hence an alternative solution may be more cost-effective. An alternative to carrying out a quantitative assessment could be to remove the water tower and connect the toilets to the council supplied mains pressure system. Further investigation may be required to determine which option is most cost-effective on the basis that there may not be a mains supply within a reasonable distance of the building.

## 9. Conclusion

A qualitative assessment was carried out on the Yacht club and toilet building located at 182 Johns Rd. The building has sustained minor damage to internal floor slabs and hairline cracking through the mortar joints on the blockwork walls.

The building has been assessed to have a seismic capacity in the order of 61% NBS and is therefore not potentially earthquake prone and is likely to be classified as a 'Moderate Risk Building' (capacity greater than 33% but less than 67% of NBS).

The building has been assessed to have a seismic capacity in the order of 31% NBS and is therefore potentially earthquake prone and is likely to be classified as a 'High Risk Building' (capacity less than 34% NBS).

The building has no critical structural weaknesses. The adjacent water tower, which poses a fall hazard to the Toilet and Yacht Club Pavilion, contains a critical structural weakness due to the absence of positive fixing of the tank to the supporting foundation.

No further investigation is deemed necessary to confirm our initial findings regarding the Yacht club pavilion and toilets however further assessment or demolition is recommended for the water tower.

The buildings may continue to be occupied but it is recommended that the water tower is considered further.

It is recommended that:

- a) There is no damage to the building that would cause it to be unsafe to occupy.
- b) We consider that barriers around the building are not necessary.
- c) A Quantitative DEE or alternate solution is carried out for the water tower.



## 10. Limitation Statement

This report has been prepared on behalf of, and for the exclusive use of, SKM's client, and is subject to, and issued in accordance with, the provisions of the contract between SKM and the Client. It is not possible to make a proper assessment of this report without a clear understanding of the terms of engagement under which it has been prepared, including the scope of the instructions and directions given to, and the assumptions made by, SKM. The report may not address issues which would need to be considered for another party if that party's particular circumstances, requirements and experience were known and, further, may make assumptions about matters of which a third party is not aware. No responsibility or liability to any third party is accepted for any loss or damage whatsoever arising out of the use of or reliance on this report by any third party.

Without limiting any of the above, in the event of any liability, SKM's liability, whether under the law of contract, tort, statute, equity or otherwise, is limited in as set out in the terms of the engagement with the Client.

It is not within SKM's scope or responsibility to identify the presence of asbestos, nor the responsibility of SKM to identify possible sources of asbestos. Therefore for any property pre-dating 1989, the presence of asbestos materials should be considered when costing remedial measures or possible demolition.

There is a risk of further movement and increased cracking due to subsequent aftershocks or settlement.

Should there be any further significant earthquake event, of a magnitude 5 or greater, it will be necessary to conduct a follow-up investigation, as the observations, conclusions and recommendations of this report may no longer apply. Earthquake of a lower magnitude may also cause damage, and SKM should be advised immediately if further damage is visible or suspected.



## 11. Appendix 1 – Photos



Photo 1: North elevation



Photo 2: North east corner showing central yacht pavilion and toilets either side.



Photo 3: East elevation



Photo 4: West elevation including water tower top right



Photo 5: Masonry walls to 2m height with timber cladding to the top of gable.



Photo 6: Base of the rectangular hollow sections (RHS) passing through asphalt into foundations



Photo 7: Internal RHS supporting roof



Photo 8: Top of 1.4m tall concrete masonry walls connected to RHS by bolted and welded cleat. M8 bolt



Photo 9: RHS extends to roof apex jointed with welded connections



Photo 10: Wall RHS connection



Photo 11: Drainage points of the toilets



Photo 12: Close up of a drainage point



Photo 13: Minor cracking at the foot of the 150 series external walls



Photo 14: cracking approx 0.6mm at its widest



Photo 15: Rotting of the timber cladding



Photo 16: Timber cladding



Photo 17: Left of photo shows possible repointing



Photo 18: Weathered mortar joints



Photo 19: Cracking of approx 0.4mm



Photo 20: Model yacht club entry



Photo 21: Internal roof framing of the central model yacht club



Photo 22: Light timber battens on timber rafters with a plywood lining beneath the profiled metal cladding



Photo 23: East of the building showing timber cladding to toilet A frame structures



Photo 24: Junction between roofs and walls



Photo 25: View looking south at the concrete water tower



Photo 26: Supports constructed of a braced steel frame with equal angle legs and beams



	
<p>Photo 27: Rear of the water tank with water overflow</p>	<p>Photo 28: As per photo 27</p>
	
<p>Photo 29: as per photo 27</p>	<p>Photo 30: Water running off the water tank</p>



Photo 31: braced support legs



Photo 32: Underside of the water tank



Photo 33: Close up of tank support



Photo 34: No connections between tank and support were observed



Photo 35:



Photo 36: Frame footing

Christchurch City Council  
PRK\_0348\_BLDG\_002 EQ2  
Groynes Toilet & Yacht Club Pavilion  
182 Johns Rd  
Qualitative Assessment Report  
23 September 2013



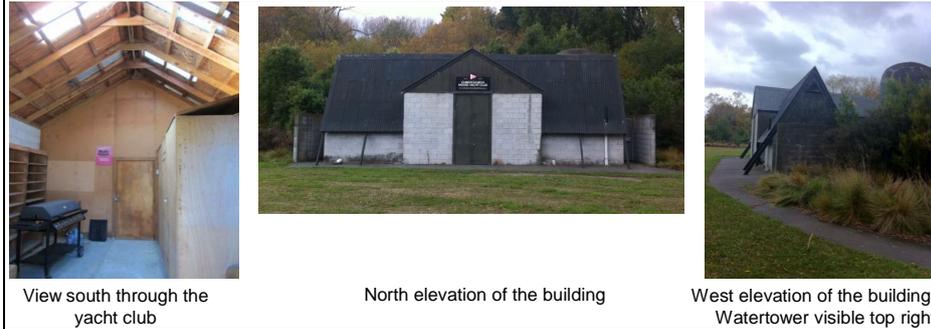
## **12. Appendix 2 – IEP Reports**

**Table IEP-1 Initial Evaluation Procedure – Step 1**  
 (Refer Table IEP - 2 for Step 2; Table IEP - 3 for Step 3, Table IEP - 4 for Steps 4, 5 and 6)

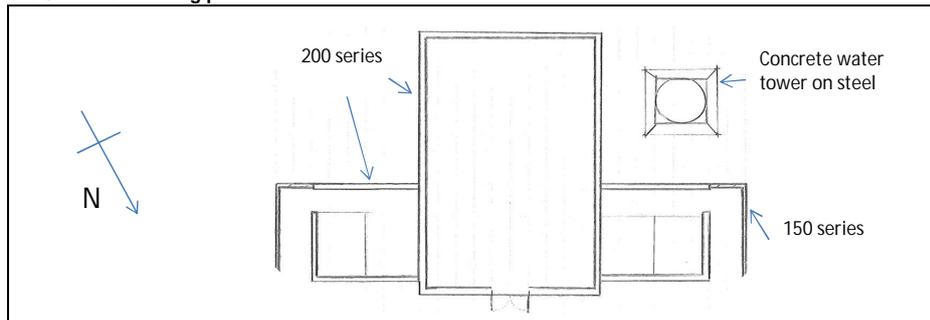
Building Name:	Groynes Toilets and Yacht Club Pavilion	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
		Date	23/09/2013

**Step 1 - General Information**

**1.1 Photos (attach sufficient to describe building)**



**1.2 Sketch of building plan**



**1.3 List relevant features**

The building located on this site comprises of a model yacht club with public toilets either side. The yacht club is constructed from 20 series concrete masonry to 2.6m with a timber framed roof structure with profiled metal roofing. The roofs are plywood lined allowing diaphragm action of the roofs. The toilets either side consist of A frame roofs formed by rectangular steel rafters and timber purlins with steel roof cladding. External walls consist of 20 series concrete masonry blockwork to 1.6m connected to the steel roof members. To the south west of the buildings there is a concrete water tower supported on a steel frame and concrete slab foundation.

**1.4 Note information sources**

- Visual Inspection of Exterior
- Visual Inspection of Interior
- Drawings (note type)
- Specifications
- Geotechnical Reports
- Other (list)

Tick as appropriate

<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>



**Table IEP-2 Initial Evaluation Procedure – Step 2**  
 (Refer Table IEP - 1 for Step 1; Table IEP - 3 for Step 3, Table IEP - 4 for Steps 4, 5 and 6)

Building Name:	Groynes Toilets and Yacht Club Pavilion	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>Longitudinal &amp; Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**Step 2 - Determination of (%NBS)b**

**2.1 Determine nominal (%NBS) = (%NBS)nom**

Pre 1935  
 1935-1965  
 1965-1976 Seismic Zone; A  
 B  
 C  
 1976-1992 Seismic Zone; A  
 B  
 C  
 1992-2004

<input type="radio"/>	See also notes 1, 3
<input type="radio"/>	
<input type="radio"/>	
<input type="radio"/>	See also note 2
<input type="radio"/>	
<input checked="" type="radio"/>	
<input type="radio"/>	
<input type="radio"/>	

**b) Soil Type**

From NZS1170.5:2004, Cl 3.1.3

A or B Rock  
 C Shallow Soil  
 D Soft Soil  
 E Very Soft Soil

<input type="radio"/>
<input type="radio"/>
<input checked="" type="radio"/>
<input type="radio"/>

From NZS4203:1992, Cl 4.6.2.2  
 (for 1992 to 2004 only and only if known)

a) Rigid  
 b) Intermediate

<input type="radio"/>	N-A
<input type="radio"/>	

**c) Estimate Period, T**

building Ht = **4** meters

Can use following:

$T = 0.09h_n^{0.75}$  for moment-resisting concrete frames  
 $T = 0.14h_n^{0.75}$  for moment-resisting steel frames  
 $T = 0.08h_n^{0.75}$  for eccentrically braced steel frames  
 $T = 0.06h_n^{0.75}$  for all other frame structures  
 $T = 0.09h_n^{0.75}/A_c^{0.5}$  for concrete shear walls  
 $T \leq 0.4\text{sec}$  for masonry shear walls

Longitudinal	Transverse
Ac = _____ m <sup>2</sup>	
<input type="radio"/> MRCF	<input type="radio"/> MRCF
<input type="radio"/> MRSF	<input type="radio"/> MRSF
<input type="radio"/> EBSF	<input type="radio"/> EBSF
<input type="radio"/> Others	<input type="radio"/> Others
<input type="radio"/> CSW	<input type="radio"/> CSW
<input checked="" type="radio"/> MSW	<input checked="" type="radio"/> MSW

Where  $h_n$  = height in m from the base of the structure to the uppermost seismic weight or mass.  
 $A_c = \sum A_i(0.2 + L_wi/h_n)^2$   
 $A_i$  = cross-sectional shear area of shear wall  $i$  in the first storey of the building, in m<sup>2</sup>  
 $L_wi$  = length of shear wall  $i$  in the first storey in the direction parallel to the applied forces, in m  
 with the restriction that  $L_wi/h_n$  shall not exceed 0.9

Longitudinal	Transverse
0.4	0.4

Seconds

**d) (%NBS)nom determined from Figure 3.3**

Longitudinal	16.5	(%NBS) <sub>nom</sub>
Transverse	16.5	(%NBS) <sub>nom</sub>

**Note 1:** For buildings designed prior to 1965 and known to be designed as public buildings in accordance with the code of the time, multiply (%NBS)nom by 1.25.

Factor

For buildings designed 1965 - 1976 and known to be designed as public buildings in accordance with the code of the time, multiply (%NBS)nom by 1.33 - Zone A or 1.2 - Zone B

**Note 2:** For reinforced concrete buildings designed between 1976 -1984 (%NBS)nom by 1.2

**Note 3:** For buildings designed prior to 1935 multiply (%NBS)nom by 0.8 except for Wellington where the factor may be taken as 1.

Longitudinal	16.5	(%NBS) <sub>nom</sub>
Transverse	16.5	(%NBS) <sub>nom</sub>

Continued over page



**Table IEP-2 Initial Evaluation Procedure – Step 2 continued**

Building Name:	Groynes Toilets and Yacht Club Pavilion	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>Longitudinal &amp; Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**2.2 Near Fault Scaling Factor, Factor A**  
 If  $T < 1.5\text{sec}$ , Factor A = 1

a) Near Fault Factor,  $N(T,D)$  1  
 (from NZS1170.5:2004, Cl 3.1.6)

b) Near Fault Scaling Factor =  $1/N(T,D)$ 

Factor A	1.00
----------	------

**2.3 Hazard Scaling Factor, Factor B**

Select Location

a) Hazard Factor,  $Z$ , for site  
 (from NZS1170.5:2004, Table 3.3)  
 $Z = 0.3$   
 $Z_{1992} = 0.8$  Auckland 0.6 Palm Nth 1.2  
 Wellington 1.2 Dunedin 0.6  
 Christchurch 0.8 Hamilton 0.67

b) Hazard Scaling Factor  
 For pre 1992 =  $1/Z$   
 For 1992 onwards =  $Z_{1992}/Z$

# (Where  $Z_{1992}$  is the NZS4203:1992 Zone Factor from accompanying Figure 3.5(b))

Factor B	3.33
----------	------

**2.4 Return Period Scaling Factor, Factor C**

a) Building Importance Level   
 (from NZS1170.0:2004, Table 3.1 and 3.2)

b) Return Period Scaling Factor from accompanying Table 3.1 

Factor C	1.00
----------	------

**2.5 Ductility Scaling Factor, D**

a) Assessed Ductility of Existing Structure,  $\mu$   
 (shall be less than maximum given in accompanying Table 3.2)  
 Longitudinal **1.25**  $\mu$  Maximum = 6  
 Transverse **1.25**  $\mu$  Maximum = 6

b) Ductility Scaling Factor  
 For pre 1976 =  $k_{\mu}$   
 For 1976 onwards = 1  
 (where  $k_{\mu}$  is NZS1170.5:2005 Ductility Factor, from accompanying Table 3.3)

Longitudinal	Factor D	1.00
Transverse	Factor D	1.00

**2.6 Structural Performance Scaling Factor, Factor E**

Select Material of Lateral Load Resisting System  
 Longitudinal   
 Transverse

a) Structural Performance Factor,  $S_p$   
 from accompanying Figure 3.4

Longitudinal  $S_p$  0.90  
 Transverse  $S_p$  0.90

b) Structural Performance Scaling Factor  
 Longitudinal  $1/S_p$  Factor E 1.11  
 Transverse  $1/S_p$  Factor E 1.11

**2.7 Baseline %NBS for Building,  $(\%NBS)_b$**   
 (equals  $(\%NSB)_{nom} \times A \times B \times C \times D \times E$ )

Longitudinal	61.1	(%NBS) <sub>b</sub>
Transverse	61.1	(%NBS) <sub>b</sub>



**Table IEP-3 Initial Evaluation Procedure – Step 3**  
 (Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 4 for Steps 4, 5 and 6)

Building Name: Groynes Toilets and Yacht Club Pavilion	Ref. ZB01276.104
Location: 182 Johns Road, Northwood Christchurch	By AFL
Direction Considered: <b>a) Longitudinal</b>	Date 23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)	

**Step 3 - Assessment of Performance Achievement Ratio (PAR)**  
 (Refer Appendix B - Section B3.2)

Critical Structural Weakness	Effect on Structural Performance (Choose a value - Do not interpolate)	Building Score						
<b>3.1 Plan Irregularity</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor A <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						
<b>3.2 Vertical Irregularity</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor B <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						
<b>3.3 Short Columns</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor C <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						

**3.4 Pounding Potential**  
 (Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)

a) Factor D1: - Pounding Effect  
 Select appropriate value from Table

Note:  
 Values given assume the building has a frame structure. For stiff buildings ( eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

Table for Selection of Factor D1	Factor D1 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Alignment of Floors within 20% of Storey Height	<input type="radio"/> 0.7	<input type="radio"/> 0.8	<input checked="" type="radio"/> 1
Alignment of Floors not within 20% of Storey Height	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 0.8

b) Factor D2: - Height Difference Effect  
 Select appropriate value from Table

Table for Selection of Factor D2	Factor D2 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Height Difference > 4 Storeys	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1
Height Difference 2 to 4 Storeys	<input type="radio"/> 0.7	<input type="radio"/> 0.9	<input type="radio"/> 1
Height Difference < 2 Storeys	<input type="radio"/> 1	<input type="radio"/> 1	<input type="radio"/> 1

**Factor D**   
 (Set D = lesser of D1 and D2 or..  
 set D = 1.0 if no prospect of pounding)

**3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)**  
 Effect on Structural Performance

Severe	Significant	Insignificant
<input type="radio"/> 0.5	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1

Factor E

**3.6 Other Factors**

For < 3 storeys - Maximum value 2.5,  
 otherwise - Maximum value 1.5. No minimum.

Factor F

Record rationale for choice of Factor F:  
 Walls vertically reinforced at 600mm crs horizontal bars and at 1300mm and full height horizontally

**3.7 Performance Achievement Ratio (PAR)**  
 (equals A x B x C x D x E x F)

PAR



**Table IEP-3**

**Initial Evaluation Procedure – Step 3**

(Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 4 for Steps 4, 5 and 6)

Building Name:	Groynes Toilets and Yacht Club Pavilion	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>b) Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**Step 3 - Assessment of Performance Achievement Ratio (PAR)**

(Refer Appendix B - Section B3.2)

**Critical Structural Weakness**

**Effect on Structural Performance**  
 (Choose a value - Do not interpolate)

**Building Score**

**3.1 Plan Irregularity**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor A

**3.2 Vertical Irregularity**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor B

**3.3 Short Columns**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor C

**3.4 Pounding Potential**

(Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)

a) Factor D1: - Pounding Effect  
 Select appropriate value from Table

Note:  
 Values given assume the building has a frame structure. For stiff buildings ( eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

Table for Selection of Factor D1	Factor D1 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Alignment of Floors within 20% of Storey Height	<input type="radio"/> 0.7	<input type="radio"/> 0.8	<input checked="" type="radio"/> 1
Alignment of Floors not within 20% of Storey Height	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 0.8

b) Factor D2: - Height Difference Effect  
 Select appropriate value from Table

Table for Selection of Factor D2	Factor D2 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Height Difference > 4 Storeys	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 1
Height Difference 2 to 4 Storeys	<input type="radio"/> 0.7	<input type="radio"/> 0.9	<input type="radio"/> 1
Height Difference < 2 Storeys	<input type="radio"/> 1	<input type="radio"/> 1	<input checked="" type="radio"/> 1

Factor D   
 (Set D = lesser of D1 and D2 or..  
 set D = 1.0 if no prospect of pounding)

**3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)**

Effect on Structural Performance

Severe	Significant	Insignificant
<input type="radio"/> 0.5	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1

Factor E

**3.6 Other Factors**

For < 3 storeys - Maximum value 2.5,

otherwise - Maximum value 1.5. No minimum.

Factor F

Record rationale for choice of Factor F:  
 Walls vertically reinforced at 600mm crs horizontal bars and at 1300mm and full height horizontally

**3.7 Performance Achievement Ratio (PAR)**  
 (equals A x B x C x D x E x F)

PAR



Table IEP-4

**Initial Evaluation Procedure – Steps 4, 5 and 6**

(Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 3 for Step 3)

Building Name:	Groynes Toilets and Yacht Club Pavilion	Ref.	ZB01276.104	
Location:	182 Johns Road, Northwood Christchurch	By	AFL	
Direction Considered:	<b>Longitudinal &amp; Transverse</b>		Date	23/09/2013
<small>(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)</small>				

**Step 4 - Percentage of New Building Standard (%NBS)**

	Longitudinal	Transverse
<b>4.1 Assessed Baseline (%NBS)<sub>b</sub></b> (from Table IEP - 1)	61	61
<b>4.2 Performance Achievement Ratio (PAR)</b> (from Table IEP - 2)	1.00	1.00
<b>4.3 PAR x Baseline (%NBS)<sub>b</sub></b>	61	61
<b>4.4 Percentage New Building Standard (%NBS)</b> (Use lower of two values from Step 4.3)		61

**Step 5 - Potentially Earthquake Prone?**  
(Mark as appropriate)

%NBS ≤ 33

**Step 6 - Potentially Earthquake Risk?**

%NBS < 67

**Step 7 - Provisional Grading for Seismic Risk based on IEP**

Seismic Grade

Evaluation Confirmed by

 Signature

Nick Calvert Name

242062 CPEng. No

**Relationship between Seismic Grade and % NBS :**

Grade:	A+	A	B	C	D	E
%NBS:	> 100	100 to 80	80 to 67	67 to 33	33 to 20	< 20

**Table IEP-1 Initial Evaluation Procedure – Step 1**  
 (Refer Table IEP - 2 for Step 2; Table IEP - 3 for Step 3, Table IEP - 4 for Steps 4, 5 and 6)

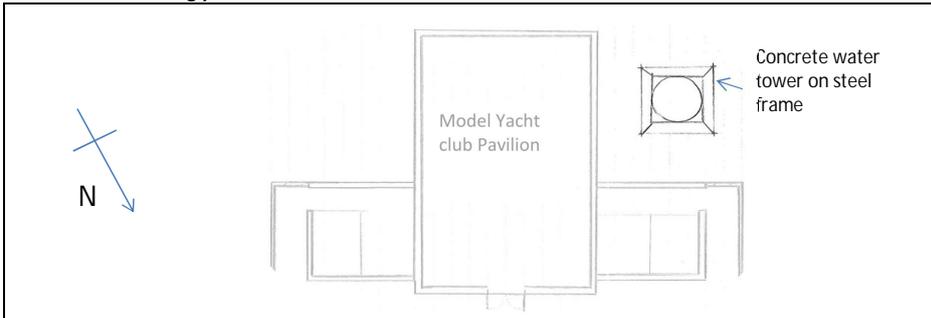
Building Name:	Groynes Toilets and Yacht Club Pavilion water tower	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
		Date	23/09/2013

**Step 1 - General Information**

**1.1 Photos (attach sufficient to describe building)**



**1.2 Sketch of building plan**



**1.3 List relevant features**

The water tower structure located on this site consists of an elevated concrete water tank supported on a steel support constructed of equal angle legs and frames. The legs are laterally braced by concentric steel rod bracing. The legs of the support frame are cast in concrete pad footings of unknown depth. No connections between concrete water tank and support frame were observed. The water tank is approximately 2m tall seated on a support approximately 2m tall.

**1.4 Note information sources**

- Visual Inspection of Exterior
- Visual Inspection of Interior
- Drawings (note type)
- Specifications
- Geotechnical Reports
- Other (list)

Tick as appropriate

<input checked="" type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>



**Table IEP-2 Initial Evaluation Procedure – Step 2**  
 (Refer Table IEP - 1 for Step 1; Table IEP - 3 for Step 3, Table IEP - 4 for Steps 4, 5 and 6)

Building Name:	Groynes Toilets and Yacht Club Pavilion water tower	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>Longitudinal &amp; Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**Step 2 - Determination of (%NBS)b**

**2.1 Determine nominal (%NBS) = (%NBS)nom**

Pre 1935  
 1935-1965  
 1965-1976 Seismic Zone; A  
 B  
 C  
 1976-1992 Seismic Zone; A  
 B  
 C  
 1992-2004

<input type="radio"/>	See also notes 1, 3
<input type="radio"/>	
<input type="radio"/>	
<input type="radio"/>	See also note 2
<input type="radio"/>	
<input checked="" type="radio"/>	
<input type="radio"/>	
<input type="radio"/>	

**b) Soil Type**

From NZS1170.5:2004, Cl 3.1.3

A or B Rock  
 C Shallow Soil  
 D Soft Soil  
 E Very Soft Soil

<input type="radio"/>
<input type="radio"/>
<input checked="" type="radio"/>
<input type="radio"/>

From NZS4203:1992, Cl 4.6.2.2  
 (for 1992 to 2004 only and only if known)

a) Rigid  
 b) Intermediate

<input type="radio"/>	N-A
<input type="radio"/>	

**c) Estimate Period, T**

building Ht = **4** meters

Can use following:

$T = 0.09h_n^{0.75}$  for moment-resisting concrete frames  
 $T = 0.14h_n^{0.75}$  for moment-resisting steel frames  
 $T = 0.08h_n^{0.75}$  for eccentrically braced steel frames  
 $T = 0.06h_n^{0.75}$  for all other frame structures  
 $T = 0.09h_n^{0.75}/A_c^{0.5}$  for concrete shear walls  
 $T \leq 0.4\text{sec}$  for masonry shear walls

Longitudinal	Transverse
Ac = _____ m <sup>2</sup>	
<input type="radio"/> MRCF	<input type="radio"/> MRCF
<input type="radio"/> MRSF	<input type="radio"/> MRSF
<input type="radio"/> EBSF	<input type="radio"/> EBSF
<input checked="" type="radio"/> Others	<input checked="" type="radio"/> Others
<input type="radio"/> CSW	<input type="radio"/> CSW
<input type="radio"/> MSW	<input type="radio"/> MSW

Where  $h_n$  = height in m from the base of the structure to the uppermost seismic weight or mass.  
 $A_c = \sum A_i(0.2 + L_{wi}/h_n)^2$   
 $A_i$  = cross-sectional shear area of shear wall  $i$  in the first storey of the building, in m<sup>2</sup>  
 $L_{wi}$  = length of shear wall  $i$  in the first storey in the direction parallel to the applied forces, in m  
 with the restriction that  $L_{wi}/h_n$  shall not exceed 0.9

Longitudinal	Transverse
<b>0.2</b>	<b>0.2</b>

Seconds

**d) (%NBS)nom determined from Figure 3.3**

Longitudinal	16.5	(%NBS) <sub>nom</sub>
Transverse	<b>16.5</b>	(%NBS) <sub>nom</sub>

**Note 1:** For buildings designed prior to 1965 and known to be designed as public buildings in accordance with the code of the time, multiply (%NBS)nom by 1.25.

Factor

For buildings designed 1965 - 1976 and known to be designed as public buildings in accordance with the code of the time, multiply (%NBS)nom by 1.33 - Zone A or 1.2 - Zone B

**Note 2:** For reinforced concrete buildings designed between 1976 - 1984 (%NBS)nom by 1.2

**Note 3:** For buildings designed prior to 1935 multiply (%NBS)nom by 0.8 except for Wellington where the factor may be taken as 1.

Longitudinal	16.5	(%NBS) <sub>nom</sub>
Transverse	<b>16.5</b>	(%NBS) <sub>nom</sub>

Continued over page



**Table IEP-2 Initial Evaluation Procedure – Step 2 continued**

Building Name:	Groynes Toilets and Yacht Club Pavilion water tower	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>Longitudinal &amp; Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**2.2 Near Fault Scaling Factor, Factor A**  
 If  $T < 1.5\text{sec}$ , Factor A = 1

a) Near Fault Factor,  $N(T,D)$  1  
 (from NZS1170.5:2004, Cl 3.1.6)

b) Near Fault Scaling Factor =  $1/N(T,D)$ 

Factor A	1.00
----------	------

**2.3 Hazard Scaling Factor, Factor B**

Select Location

a) Hazard Factor,  $Z$ , for site  
 (from NZS1170.5:2004, Table 3.3)  
 $Z = 0.3$   
 $Z_{1992} = 0.8$  Auckland 0.6 Palm Nth 1.2  
 Wellington 1.2 Dunedin 0.6  
 Christchurch 0.8 Hamilton 0.67

b) Hazard Scaling Factor  
 For pre 1992 =  $1/Z$   
 For 1992 onwards =  $Z_{1992}/Z$   
 # (Where  $Z_{1992}$  is the NZS4203:1992 Zone Factor from accompanying Figure 3.5(b))

Factor B	3.33
----------	------

**2.4 Return Period Scaling Factor, Factor C**

a) Building Importance Level   
 (from NZS1170.0:2004, Table 3.1 and 3.2)

b) Return Period Scaling Factor from accompanying Table 3.1 

Factor C	1.00
----------	------

**2.5 Ductility Scaling Factor, D**

a) Assessed Ductility of Existing Structure,  $\mu$   
 (shall be less than maximum given in accompanying Table 3.2)  
 Longitudinal **1.25**  $\mu$  Maximum = 6  
 Transverse **1.25**  $\mu$  Maximum = 6

b) Ductility Scaling Factor  
 For pre 1976 =  $k_{\mu}$   
 For 1976 onwards = 1  
 (where  $k_{\mu}$  is NZS1170.5:2005 Ductility Factor, from accompanying Table 3.3)

Longitudinal	Factor D	1.00
Transverse	Factor D	1.00

**2.6 Structural Performance Scaling Factor, Factor E**

Select Material of Lateral Load Resisting System  
 Longitudinal   
 Transverse

a) Structural Performance Factor,  $S_p$   
 from accompanying Figure 3.4  
 Longitudinal  $S_p = 0.90$   
 Transverse  $S_p = 0.90$

b) Structural Performance Scaling Factor  
 Longitudinal  $1/S_p$  Factor E 1.11  
 Transverse  $1/S_p$  Factor E 1.11

**2.7 Baseline %NBS for Building,  $(\%NBS)_b$**   
 (equals  $(\%NSB)_{nom} \times A \times B \times C \times D \times E$ )

Longitudinal	61.1	(%NBS) <sub>b</sub>
Transverse	61.1	(%NBS) <sub>b</sub>



**Table IEP-3 Initial Evaluation Procedure – Step 3**  
 (Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 4 for Steps 4, 5 and 6)

Building Name: Groynes Toilets and Yacht Club Pavilion water tower	Ref. ZB01276.104
Location: 182 Johns Road, Northwood Christchurch	By AFL
Direction Considered: <b>a) Longitudinal</b>	Date 23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)	

**Step 3 - Assessment of Performance Achievement Ratio (PAR)**  
 (Refer Appendix B - Section B3.2)

Critical Structural Weakness	Effect on Structural Performance (Choose a value - Do not interpolate)	Building Score						
<b>3.1 Plan Irregularity</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor A <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						
<b>3.2 Vertical Irregularity</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor B <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						
<b>3.3 Short Columns</b> Effect on Structural Performance Comment	<table border="1"> <tr> <td>Severe</td> <td>Significant</td> <td>Insignificant</td> </tr> <tr> <td><input type="radio"/></td> <td><input type="radio"/></td> <td><input checked="" type="radio"/></td> </tr> </table>	Severe	Significant	Insignificant	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	Factor C <input type="text" value="1"/>
Severe	Significant	Insignificant						
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>						

**3.4 Pounding Potential**  
 (Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)

a) Factor D1: - Pounding Effect  
 Select appropriate value from Table

Note:  
 Values given assume the building has a frame structure. For stiff buildings ( eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

Table for Selection of Factor D1	Factor D1 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Alignment of Floors within 20% of Storey Height	<input type="radio"/> 0.7	<input type="radio"/> 0.8	<input checked="" type="radio"/> 1
Alignment of Floors not within 20% of Storey Height	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 0.8

b) Factor D2: - Height Difference Effect  
 Select appropriate value from Table

Table for Selection of Factor D2	Factor D2 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Height Difference > 4 Storeys	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1
Height Difference 2 to 4 Storeys	<input type="radio"/> 0.7	<input type="radio"/> 0.9	<input type="radio"/> 1
Height Difference < 2 Storeys	<input type="radio"/> 1	<input type="radio"/> 1	<input type="radio"/> 1

**Factor D**   
 (Set D = lesser of D1 and D2 or..  
 set D = 1.0 if no prospect of pounding)

**3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)**  
 Effect on Structural Performance

Severe	Significant	Insignificant
<input type="radio"/> 0.5	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1

Factor E

**3.6 Other Factors**  
 For < 3 storeys - Maximum value 2.5,  
 otherwise - Maximum value 1.5. No minimum.  
 Record rationale for choice of Factor F:  
 Factor F

Water tank has no visible connection to steel support structure, plus unknown foundation details. Coefficient chosen using engineering judgement.

**3.7 Performance Achievement Ratio (PAR)**  
 (equals A x B x C x D x E x F)  
 PAR



**Table IEP-3**

**Initial Evaluation Procedure – Step 3**

(Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 4 for Steps 4, 5 and 6)

Building Name:	Groynes Toilets and Yacht Club Pavilion water tower	Ref.	ZB01276.104
Location:	182 Johns Road, Northwood Christchurch	By	AFL
Direction Considered:	<b>b) Transverse</b>	Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)			

**Step 3 - Assessment of Performance Achievement Ratio (PAR)**

(Refer Appendix B - Section B3.2)

**Critical Structural Weakness**

**Effect on Structural Performance**  
 (Choose a value - Do not interpolate)

**Building Score**

**3.1 Plan Irregularity**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor A

**3.2 Vertical Irregularity**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor B

**3.3 Short Columns**

Effect on Structural Performance  
 Comment

Severe	Significant	Insignificant
<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Factor C

**3.4 Pounding Potential**

(Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)

a) Factor D1: - Pounding Effect

Select appropriate value from Table

Note:

Values given assume the building has a frame structure. For stiff buildings ( eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

Table for Selection of Factor D1	Factor D1 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Alignment of Floors within 20% of Storey Height	<input type="radio"/> 0.7	<input type="radio"/> 0.8	<input checked="" type="radio"/> 1
Alignment of Floors not within 20% of Storey Height	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 0.8

b) Factor D2: - Height Difference Effect

Select appropriate value from Table

Table for Selection of Factor D2	Factor D2 <input type="text" value="1"/>		
	Severe	Significant	Insignificant
Separation	0<Sep<.005H	.005<Sep<.01H	Sep>.01H
Height Difference > 4 Storeys	<input type="radio"/> 0.4	<input type="radio"/> 0.7	<input type="radio"/> 1
Height Difference 2 to 4 Storeys	<input type="radio"/> 0.7	<input type="radio"/> 0.9	<input type="radio"/> 1
Height Difference < 2 Storeys	<input type="radio"/> 1	<input type="radio"/> 1	<input checked="" type="radio"/> 1

Factor D

(Set D = lesser of D1 and D2 or..  
 set D = 1.0 if no prospect of pounding)

**3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)**

Effect on Structural Performance

Severe	Significant	Insignificant
<input type="radio"/> 0.5	<input type="radio"/> 0.7	<input checked="" type="radio"/> 1

Factor E

**3.6 Other Factors**

For < 3 storeys - Maximum value 2.5,

otherwise - Maximum value 1.5. No minimum.

Factor F

Record rationale for choice of Factor F:

Water tank has no visible connection to steel support structure, plus unknown foundation details. Coefficient chosen using engineering judgement.

**3.7 Performance Achievement Ratio (PAR)**  
 (equals A x B x C x D x E x F)

PAR



Table IEP-4

**Initial Evaluation Procedure – Steps 4, 5 and 6**

(Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2, Table IEP - 3 for Step 3)

Building Name:	Groynes Toilets and Yacht Club Pavilion water tower	Ref.	ZB01276.104	
Location:	182 Johns Road, Northwood Christchurch	By	AFL	
Direction Considered:	<b>Longitudinal &amp; Transverse</b>		Date	23/09/2013
(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)				

**Step 4 - Percentage of New Building Standard (%NBS)**

	Longitudinal	Transverse
<b>4.1 Assessed Baseline (%NBS)<sub>b</sub></b> (from Table IEP - 1)	61	61
<b>4.2 Performance Achievement Ratio (PAR)</b> (from Table IEP - 2)	0.50	0.50
<b>4.3 PAR x Baseline (%NBS)<sub>b</sub></b>	31	31
<b>4.4 Percentage New Building Standard (%NBS)</b> (Use lower of two values from Step 4.3)		31

**Step 5 - Potentially Earthquake Prone?**  
(Mark as appropriate)

%NBS ≤ 33  YES

**Step 6 - Potentially Earthquake Risk?**

%NBS < 67  YES

**Step 7 - Provisional Grading for Seismic Risk based on IEP**

Seismic Grade  D

Evaluation Confirmed by

Signature

Nick Calvert

Name

242062

CPEng. No

**Relationship between Seismic Grade and % NBS :**

Grade:	A+	A	B	C	D	E
%NBS:	> 100	100 to 80	80 to 67	67 to 33	33 to 20	< 20



## **13. Appendix 3 – CERA Standardised Report Form**



Detailed Engineering Evaluation Summary Data		V1.11	
<b>Location</b>			
Building Name:	Groyne - Yacht Club Toilets Watertower	Reviewer:	Nick Calvert
Building Address:	Unit No. Street 182 Johns Road	CPEng No:	242062
Legal Description:		Company:	Sinclair Knight Merz
		Company project number:	Z901276.104
		Company phone number:	03 940 4923
GPS south:	Degrees Min Sec	Date of submission:	23-Sep
GPS east:		Inspection Date:	15/02/2013
Building Unique Identifier (CCC):	PRK_0348_BLDG_002	Revision:	B
		Is there a full report with this summary?	yes
<b>Site</b>			
Site slope:	flat	Max retaining height (m):	0
Soil type:		Soil Profile (if available):	
Site Class (to NZS1170.5):	D	If Ground improvement on site, describe:	
Proximity to waterway (m, if <100m):	25	Approx site elevation (m):	14.00
Proximity to cliff top (m, if <100m):			
Proximity to cliff base (m, if <100m):			
<b>Building</b>			
No. of storeys above ground:	2	single storey = 1	Ground floor elevation (Absolute) (m): 14.00
Ground floor split?	no		Ground floor elevation above ground (m): 0.00
Storeys below ground:	0		
Foundation type:	mat slab		If Foundation type is other, describe:
Building height (m):	4.00		height from ground to level of uppermost seismic mass (for IEP only) (m): 4
Floor footprint area (approx):	4		
Age of Building (years):	30		Date of design: 1976-1992
Strengthening present?	no		If so, when (year)?
Use (ground floor):	public		And what load level (%g)?
Use (upper floors):			Brief strengthening description:
Importance level (to NZS1170.5):	IL2		
<b>Gravity Structure</b>			
Gravity System:	frame system		
Roof:			
Floors:			
Beams:	steel non-composite	beam and connector type:	
Columns:			
Walls:			
			RHS 150mmx50mm in the toilets 150x50 in the yacht club pavilion, 75x 50mm purlins, Profiled metal cladding Assumed 100mm Welded equal angle support frame and legs
<b>Lateral load resisting structure</b>			
Lateral system along:	steel concentric braced frame	Note: Define along and across in detailed report!	note typical frame sizes and bay length (m) 2m bay length
Ductility assumed, $\mu$ :	1.25	0.17 from parameters in sheet	
Period along:	0.50	estimate or calculation?	estimated
Total deflection (ULS) (mm):	30	estimate or calculation?	estimated
maximum interstorey deflection (ULS) (mm):	30	estimate or calculation?	estimated
Lateral system across:	steel concentric braced frame		note typical frame sizes and bay length (m) 2m bay length
Ductility assumed, $\mu$ :	1.25	0.00	
Period across:	0.50	estimate or calculation?	estimated
Total deflection (ULS) (mm):	30	estimate or calculation?	estimated
maximum interstorey deflection (ULS) (mm):	30	estimate or calculation?	estimated
<b>Separations:</b>			
north (mm):		leave blank if not relevant	
east (mm):			
south (mm):			
west (mm):			
<b>Non-structural elements</b>			
Stairs:			
Wall cladding:			
Roof Cladding:			
Clazing:			
Ceilings:			
Services (list):	Water inlet, water outlet		
<b>Available documentation</b>			
Architectural:	none	original designer name/date:	
Structural:	none	original designer name/date:	
Mechanical:	none	original designer name/date:	
Electrical:	none	original designer name/date:	
Geotech report:	none	original designer name/date:	
<b>Damage</b>			
Site: (refer DEE Table 4-2)	Site performance: Good	Describe damage:	Water running down structure
	Settlement: none observed	notes (if applicable):	
	Differential settlement: none observed	notes (if applicable):	
	Liquefaction: none apparent	notes (if applicable):	
	Lateral Spread: none apparent	notes (if applicable):	
	Differential lateral spread: none apparent	notes (if applicable):	
	Ground cracks: none apparent	notes (if applicable):	
	Damage to area: none apparent	notes (if applicable):	
<b>Building:</b>			
Current Placard Status:	green		
Along	Damage ratio: 0%	Describe how damage ratio arrived at:	
	Describe (summary):		
Across	Damage ratio: 0%	Damage Ratio = $\frac{(\% NBS (before) - \% NBS (after))}{\% NBS (before)}$	
	Describe (summary):		
Diaphragms	Damage?: no	Describe:	
CSWs:	Damage?: no	Describe:	
Pounding:	Damage?: no	Describe:	
Non-structural:	Damage?: no	Describe:	Mortar joints and minor slabs cracking
<b>Recommendations</b>			
Level of repair/strengthening required:	minor non-structural	Describe:	Fix overflow issue to prevent steel corrosion
Building Consent required:	no	Describe:	
Interim occupancy recommendations:	full occupancy	Describe:	
Along	Assessed %NBS before: 31%	%NBS from IEP below	If IEP not used, please detail assessment methodology: NZSEE methodology spreadsheet
	Assessed %NBS after: 31%		
Across	Assessed %NBS before: 31%	%NBS from IEP below	
	Assessed %NBS after: 31%		



Detailed Engineering Evaluation Summary Data		V1.11
<b>Location</b>		
Building Name:	Groyne - Yacht Club Toilets	Reviewer:
Building Address:	Unit No. Street 182 Johns Road	CPEng No:
Legal Description:		Company:
		Company project number:
		Company phone number:
GPS south:	Degrees Min Sec	Date of submission:
GPS east:		Inspection Date:
Building Unique Identifier (CCC):	PRK 0348_BLDG_002	Revision:
		Is there a full report with this summary?
<b>Site</b>		
Site slope:	flat	Max retaining height (m):
Soil type:		Soil Profile (if available):
Site Class (to NZS1170.5):	D	If Ground improvement on site, describe:
Proximity to waterway (m, if <100m):	25	Approx site elevation (m):
Proximity to cliff top (m, if <100m):		
Proximity to cliff base (m, if <100m):		
<b>Building</b>		
No. of storeys above ground:	1	single storey = 1
Ground floor split?	no	Ground floor elevation (Absolute) (m):
Storeys below ground:	0	Ground floor elevation above ground (m):
Foundation type:	mat slab	if Foundation type is other, describe:
Building height (m):	4.00	height from ground to level of uppermost seismic mass (for IEP only) (m):
Floor footprint area (approx):	58	Date of design:
Age of Building (years):	30	
Strengthening present?	no	If so, when (year)?
Use (ground floor):	public	And what load level (%)?
Use (upper floors):		Brief strengthening description:
Use notes (if required):		
Importance level (to NZS1170.5):	IL2	
<b>Gravity Structure</b>		
Gravity System:	load bearing walls	
Roof:	timber framed	
Floors:	concrete flat slab	
Beams:		
Columns:		
Walls:	fully filled concrete masonry	
		RHS 150mmx50mm in the toilets 150x50 in the yacht club pavilion, 75x 50mm purlins, Profiled metal cladding Assumed 100mm
		#N/A
<b>Lateral load resisting structure</b>		
Lateral system along:	fully filled CMU	Note: Define along and across in detailed report!
Ductility assumed, $\mu$ :	1.25	note total length of wall at ground (m):
Period across:	0.40	wall thickness (m):
Total deflection (ULS) (mm):	20	estimate or calculation?
maximum interstorey deflection (ULS) (mm):	20	estimate or calculation?
Lateral system across:	fully filled CMU	estimate or calculation?
Ductility assumed, $\mu$ :	1.25	note total length of wall at ground (m):
Period across:	0.40	wall thickness (m):
Total deflection (ULS) (mm):	20	estimate or calculation?
maximum interstorey deflection (ULS) (mm):	20	estimate or calculation?
<b>Separations:</b>		
north (mm):		leave blank if not relevant
east (mm):		
south (mm):		
west (mm):		
<b>Non-structural elements</b>		
Stairs:		
Wall cladding:		
Roof Cladding:	Metal	describe:
Glazing:		
Ceilings:	strapped or direct fixed	
Services(ies):		
<b>Available documentation</b>		
Architectural:	none	original designer name/date:
Structural:	none	original designer name/date:
Mechanical:	none	original designer name/date:
Electrical:	none	original designer name/date:
Geotech report:	none	original designer name/date:
<b>Damage</b>		
Site: (refer DEE Table 4-2)	Site performance: Good	Describe damage: Minor mortar cracking likely to be pre earthquake
Settlement:	none observed	notes (if applicable):
Differential settlement:	none observed	notes (if applicable):
Liquefaction:	none apparent	notes (if applicable):
Lateral Spread:	none apparent	notes (if applicable):
Differential lateral spread:	none apparent	notes (if applicable):
Ground cracks:	none apparent	notes (if applicable):
Damage to area:	none apparent	notes (if applicable):
<b>Building</b>		
Current Placard Status:	green	
Along	Damage ratio: 0%	Describe how damage ratio arrived at:
Describe (summary):		
Across	Damage ratio: 0%	$Damage\_Ratio = \frac{(\%NBS\ (before) - \%NBS\ (after))}{\%NBS\ (before)}$
Describe (summary):		
Diaphragms	Damage?: yes	Describe:
CSWs:	Damage?: no	Describe:
Pounding:	Damage?: no	Describe:
Non-structural:	Damage?: yes	Describe: Mortar joints and minor slabs cracking
<b>Recommendations</b>		
Level of repair/strengthening required:	minor non-structural	Describe: minor mortar joint repairs for durability
Building Consent required:	no	Describe:
Interim occupancy recommendations:	full occupancy	Describe:
Along	Assessed %NBS before: 61%	%NBS from IEP below
Assessed %NBS after: 61%		If IEP not used, please detail assessment methodology: NZSEE methodology spreadsheet
Across	Assessed %NBS before: 61%	%NBS from IEP below
Assessed %NBS after: 61%		

Christchurch City Council  
PRK\_0348\_BLDG\_002 EQ2  
Groynes Toilet & Yacht Club Pavilion  
182 Johns Rd  
Qualitative Assessment Report  
23 September 2013



## **14. Appendix 4 – Geotechnical Desktop Study**



## Christchurch City Council - Structural Engineering Service

### Geotechnical Desk Study

SKM project number	ZB01276
SKM project site number	063-080 inclusive
Address	Groynes, 182 Johns Road
Report date	20 April 2012
Author	Ross Roberts / Ananth Balachandra
Reviewer	Leah Bateman
Approved for issue	Yes

### 1. Introduction

This report outlines the geotechnical information that Sinclair Knight Merz (SKM) has been able to source from our database and other sources in relation to the property listed above. We understand that this information will be used as part of an initial qualitative DEE, and will be supplemented by more detailed information and investigations to allow detailed scoping of the repair or rebuild of the building.

### 2. Scope

This geotechnical desk top study incorporates information sourced from:

- Published geology
- Publically available borehole records
- Liquefaction records
- Aerial photography
- Council files
- A preliminary site walkover

### 3. Limitations

This report was prepared to address geotechnical issues relating to the specific site in accordance with the scope of works as defined in the contract between SKM and our Client. This report has been prepared on behalf of, and for the exclusive use of, our Client, and is subject to, and issued in accordance with, the provisions of the contract between SKM and our Client. The findings presented in this report should not be applied to another site or another development within the same site without consulting SKM.

The assessment undertaken by SKM was limited to a desktop review of the data described in this report. SKM has not undertaken any subsurface investigations, measurement or testing of materials from the site. In preparing this report, SKM has relied upon, and presumed accurate, any information (or confirmation of the absence thereof) provided by our Client, and from other sources as described in the report. Except as otherwise stated in this report, SKM has not attempted to verify the accuracy or completeness of any such information.



This report should be read in full and no excerpts are to be taken as representative of the findings. It must not be copied in parts, have parts removed, redrawn or otherwise altered without the written consent of SKM.

#### 4. Site location

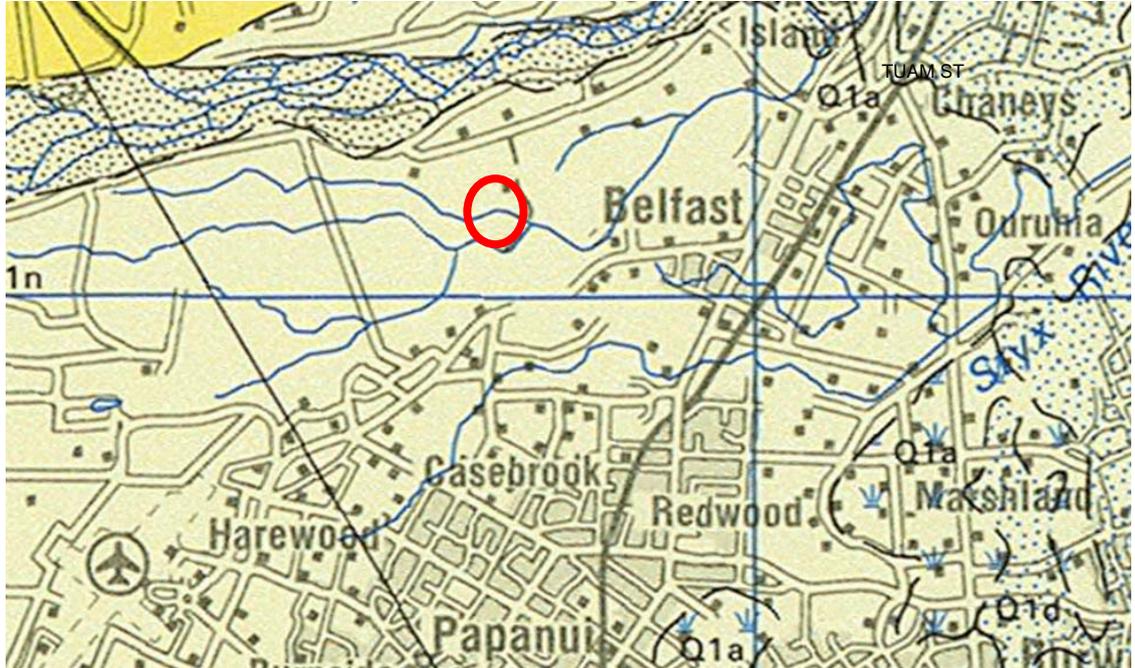


■ **Figure 1 – Site location (courtesy of LINZ <http://viewers.geospatial.govt.nz>)**

These structures are located on 182 Johns Road.

## 5. Review of available information

### 5.1 Geological maps



- **Figure 2 – Regional geological map (Forsyth et al, 2008). Site marked in red.**

The local geological map of the Christchurch area does not extend to the location of the site.

The regional geological map shows the site as underlain by river alluvium, comprising gravel, sand and silt, beneath plains or low level terraces.

### 5.2 Liquefaction map

Following the 22 February 2011 event drive through reconnaissance was undertaken from 23 February until 1 March by M Cubrinovsko and M Taylor of Canterbury University. However, the reconnaissance did not extend to the location of the site.



### 5.3 Aerial photography



- Figure 3 – Aerial photography from 24 Feb 2011 (<http://viewers.geospatial.govt.nz/>)



- **Figure 4 Aerial photograph showing liquefied material ejected near road way** (<http://viewers.geospatial.govt.nz/>)

The aerial photographs appears to show some evidence of liquefaction occurring on site due to the 22 February earthquake, with localised sand boils and liquefied material ejected near the road way visible in figure 4.

#### **5.4 CERA classification**

A review of the LINZ website (<http://viewers.geospatial.govt.nz/>) shows that the site is:

- Zone: Green
- DBH Technical Category: N/A (Rural & Unmapped) – the residential area south of the site is classified as TC2

#### **5.5 Historical land use**

Reference to historical documents (eg Appendix A) shows that parts of the site were classified as swamp or marshland. The area classified appears to be larger than lakes currently present on site. This could indicate that adjacent land on site could be underlain by soft or liquefiable deposits. With a number of creeks running through the site, it is possibly that much of the area would be underlain by soft river deposits.



## 5.6 Existing ground investigation data



- **Figure 5 – Local boreholes from Project Orbit and SKM files (<https://canterburyrecovery.projectorbit.com/>)**

Where available logs from these investigation locations are attached to this report (Appendix B), and the results are summarised in Appendix C.

## 5.7 Council property files

Council documents and drawings relating to applied building permits, project memorandums, building consents and resource consent were available for this site. However, records including drawings and documents for only some of the structures were available.

In general the proposed drawings for the toilets blocks indicate a 100mm thick concrete floor slab on a layer of compacted hardfill and reinforced concrete footings around the perimeter was used as the foundation solution. Footings varying between 170mm to 300mm wide and 500mm to 740mm deep, depending on the ground profile near the structure, were indicated in the council drawings. A minimum embedment depth of 300mm increasing up to 450mm was noted with two D12 rods indicated as the reinforcement proposed for the footings.

Likewise, the drawings for the yacht building and toilets show a 100mm thick on grade concrete slab and 300mm deep reinforced concrete footings below the internal walls of the structure. The width of the footing is shown to vary between 170mm to 300mm.

The drawing for the proposed kiosk structure shows the structure was to be supported by 150mm diameter timber posts around the perimeter of the building. Approximately 300mm of the pile is shown to be above ground level. However, the embedment depth of the pile is not clear from available drawings. 100mm by 50mm bearers are used to distribute the loading from the structure to the identified timber posts.

The proposed drawings for the carport storage sheds show 200mm by 200mm concrete “piles” to be the foundation solution for the structure. However, no further information was available from the drawing or



relevant council documents. There is some uncertainty on which building in the site inspection this record refers to. No map showing the location of the building on site was found.

The proposed drawing for the garage/ workshop indicates that a 100mm thick concrete slab on grade was proposed as the floor for the structure. A reinforced concrete footing that is 200mm wide was proposed beneath the walls of the structure. A minimum embedment depth of 300mm and height of 200mm above ground level is specified in the drawings for the footing. The recorded foundation information does not appear to match the garage/ workshop building inspected. No detailed map showing the location of the building was found in the available council records. It is expected that the exact location of the building would need to be verified to use this information.

The Ranger's office (dwelling 1) structure, labelled as the "relocated office" in the council records is indicated to be supported on 150mm diameter piles spaced at 1.4m centres over the footprint of the structure. The piles are indicated to be 525mm long with a minimum of 225mm of its length being embedded. Concrete corner foundations are also indicated for the office building. No other details about the foundation solution for the building were found during the review of available council records.

Drawing showing the extension to the dwelling 1 structure labelled as extension to the "information centre" indicates that short timber piles approximately 150mm in diameter below the bearer timber beam, embedded in 300mm by 350mm concrete footings was used as the foundation solution. The piles are shown to be approximately 900mm long. A minimum cover of 150mm above the concrete block to ground level and 300mm from ground level to the bearer beams is identified. The 125mm by 75mm bearers are shown to be tied into the foundations of the existing information centre structure.

In addition, some of the council documents indicate the presence of a septic tank near the toilet block structure. It is not clear where the respective toilet block is located. It is possible that additional septic tanks are present near toilet blocks spread throughout the foot print of the site.

No other ground investigation data or record of any excavation was found during the review of available council records.

## **5.8 Site walkover**

A site walkover was conducted by a SKM engineer in the week commencing 9 April 2012. A site plan showing the located of the inspected building is provided in Appendix D.

### **PRK\_0348\_BLDG\_007 EQ2**

The small timber frame building was noted to be constructed using fibre board clad, slab on grade foundation and sheet metal roof. Minor damage was noted with the roof iron lifting but this damage possibly could have occurred before the earthquake. The structure itself is located on level ground with no land damage noted during the external site inspection.

### **PRK\_0348\_BLDG\_005 EQ2**

The building was noted as being rangers' office. The structure was a timber frame building on timber pole piles, sheet metal clad and sheet metal roof. The building was noted to be on level land but driveway to the north slopes up towards the road. No apparent building or land damage was noted during the external site inspection.



#### **PRK\_0348\_BLDG\_012 EQ2**

The structure was observed to comprise a concrete base and concrete perimeter footing. The building was timber frame construction with sheet metal clad and roof. The structure appears to be in a state of disrepair; however this is not as a consequence of the recent earthquake. The structure was located on a water way but no evidence of liquefaction, lateral spreading or other form of land damage was observed during the external site inspection.

#### **PRK\_0348\_BLDG\_008 EQ2**

The structure was a masonry block building with sheet metal roof and slab on grade foundation. The building is located on flat ground close to a waterway to the east. No evidence of any land or building damage was observed during the external site inspection.

#### **PRK\_0348\_BLDG\_011 EQ2**

The building was observed to be a farm shed type construction comprising timber pole with timber frame and sheet metal clad roof. No access was available to the site on the day of the inspection. However, the site is adjacent to a waterway to the west and there was no evidence of any land damage in the surrounding vicinity.

#### **PRK\_0348\_BLDG\_006 EQ2**

The dwelling was located within an enclosed area. Therefore it was difficult to ascertain the construction type for the structure. However, the structure was likely to be weatherboard clad with sheet metal roof. A confirmation of the type foundation was not able to be made. The building was located adjacent to a waterway to the east. However, no evidence of land damage was visible during the external site inspection.

#### **PRK\_0348\_BLDG\_010 EQ2**

The building was a masonry block construction with sheet metal roof and slab on grade. It was located on relatively flat ground with no building or land damage noted during the site inspection.

#### **PRK\_0348\_BLDG\_004 EQ2**

The building was a masonry block construction with timber A frame, sheet metal roof and slab on grade foundations. The structure is located close to water ways. The ground was observed to be undulating in the area. However, no evidence of any liquefaction was noted near the site. Therefore it is possible that the undulations may not have been caused by the earthquake. No damage to the building was noted during the external site inspection.

#### **PRK\_0348\_BLDG\_014 EQ2**

The building was noted to be a timber frame construction with sheet metal clad / sheet metal roof. The foundation appears to be either a timber floor or no foundation/floor present for the building. During the external site inspection, there does not appear to be any building damage. The site is adjacent to a lake, with a wooden jetty that runs adjacent and perpendicular to the building. No significant damage to the perpendicular jetty was apparent. The jetty which is adjacent to the building however slopes toward the lake to the west of the building. It is not clear if this was a consequence of the earthquake. There was no clear evidence that any lateral spread or liquefaction occurred on site during the site walkover. However, some undulations of the ground were observed in the area.



**PRK\_0348\_BLDG\_017 EQ2**

The structure was a masonry block building with sheet metal roof and slab on grade foundation. The slab has approximately 400 mm thickness exposed above ground level. The building is located on flat ground, with no evidence of any land or building damage observed during the external site walkover.

**PRK\_0348\_BLDG\_002 EQ2**

The building is a masonry block construction with sheet metal roof and slab on grade foundation. The structure is located on level ground. There does not appear to be any significant building damage from the external site inspection, however, cracking of the paving slabs to the west of the building was observed. The cracking was noted to be around the downpipe and across the pavement and looks to be relatively fresh (cracks range from 5-20mm). Settlement of the paving slab of up to 30mm was also noted.

**PRK\_0348\_BLDG\_009 EQ2**

The structure was a timber pole information kiosk. No significant land damage was observed during the site walkover.

**PRK\_0348\_BLDG\_013 EQ2**

The building was a timber frame construction with sheet metal walls and roof though the front of the building was mainly made up of 2 roller doors. Foundations appear to be railway sleepers. There was no building or land damage noted during the external site inspection.

**PRK\_0348\_BLDG\_016 EQ2**

The structure was a small timber frame shed with plywood clad, with no apparent foundations other than a timber floor or possibly timber slats and sheet metal roof. No building or land damage was noted.

**PRK\_0348\_BLDG\_003 EQ2**

The building was a masonry block construction with sheet metal roof and slab on grade foundation. The building was located on level ground but ground behind to the west slopes up an embankment (approximately 1.2m high). No land or building damage was noted during the external site walkover.

**6. Conclusions and recommendations**

**6.1 Site geology**

An interpretation of the most relevant local investigation suggests that the site is underlain by:

Depth range (mBGL)	Soil type
0 - 4	Fill / peat and soft clay
4 - 15	Soft clay
15+	Sandy gravels from the riccarton formation

The water table was inferred to be approximately 2m below ground level from nearby boreholes.



## 6.2 Seismic site subsoil class

The site has been assessed as NZS1170.5 Class D (deep or soft soil) from adjacent borehole logs.

As described in NZS1170, the preferred site classification method is from site periods based on four times the shear wave travel time through material from the surface to the underlying rock. The next preferred methods are from borelogs including measurement of geotechnical properties or by evaluation of site periods from Nakamura ratios or from recorded earthquake motions. Lacking this information, classification may be based on boreholes with descriptors but no geotechnical measurements. The least preferred method is from surface geology and estimates of the depth to underlying rock.

In this case the third preferred method has been used to make the assessment. As boreholes including measurement of geotechnical properties was not available for this desk study, site specific study in the future could result in a revision to the site subsoil class.

## 6.3 Building Performance

In general the existing foundations for the structures are adequate for their current purpose.

## 6.4 Ground performance and properties

Liquefaction risk appears to be low to moderate. Some evidence of liquefaction occurring on site was observed from the aerial photographs. However, no significant land damage or evidence of liquefaction was noted during the site walkover of the structures located on site. It should be noted, however, that the site walkover was conducted more than a year after the 22<sup>nd</sup> February earthquake and so it is possible that some liquefaction did occur but the evidence is no longer apparent. The clay layer inferred to lie between 4m to 15m is unlikely to be susceptible to liquefaction. Likewise, the lenses of sand that may be present in the sandy gravel layer below 15m may be susceptible to liquefaction but it is unlikely that any surface effects of this liquefaction would be observed. Therefore, any observed liquefied ejecta could be due to shallow silt or loose sand content.

As no geotechnical parameters were measured in the available ground investigation data, an estimation of the shallow ground properties has not been made in this desk study. Additional investigations are required, in order to assess the likely shallow ground properties.

## 6.5 Further investigations

In general the structures on site appear to be relatively light constructions supported on shallow footings. There is relatively good agreement on the geology of the soil below a depth of 5m from the available ground investigation data. However, as no geotechnical parameters are available, in order to perform a quantitative DEE, additional investigations are required. Additional investigations recommended are:

- Two CPTs near larger buildings such as the ranger's office and dwelling 2 are recommended. For small structures such as the kiosk and office building, two hand augers to infer the composition of shallow soils would be adequate.

If investigation is required for more than one asset it is advised to carry these out at the same time as scope may be able to be reduced by carrying out a site wide investigation.



## 7. References

Brown LJ, Weeber JH, 1992. Geology of the Christchurch urban area. Scale 1:25,000. Institute of Geological & Nuclear Sciences geological map 1.

Cubrinovski & Taylor, 2011. Liquefaction map summarising preliminary assessment of liquefaction in urban areas following the 2010 Darfield Earthquake.

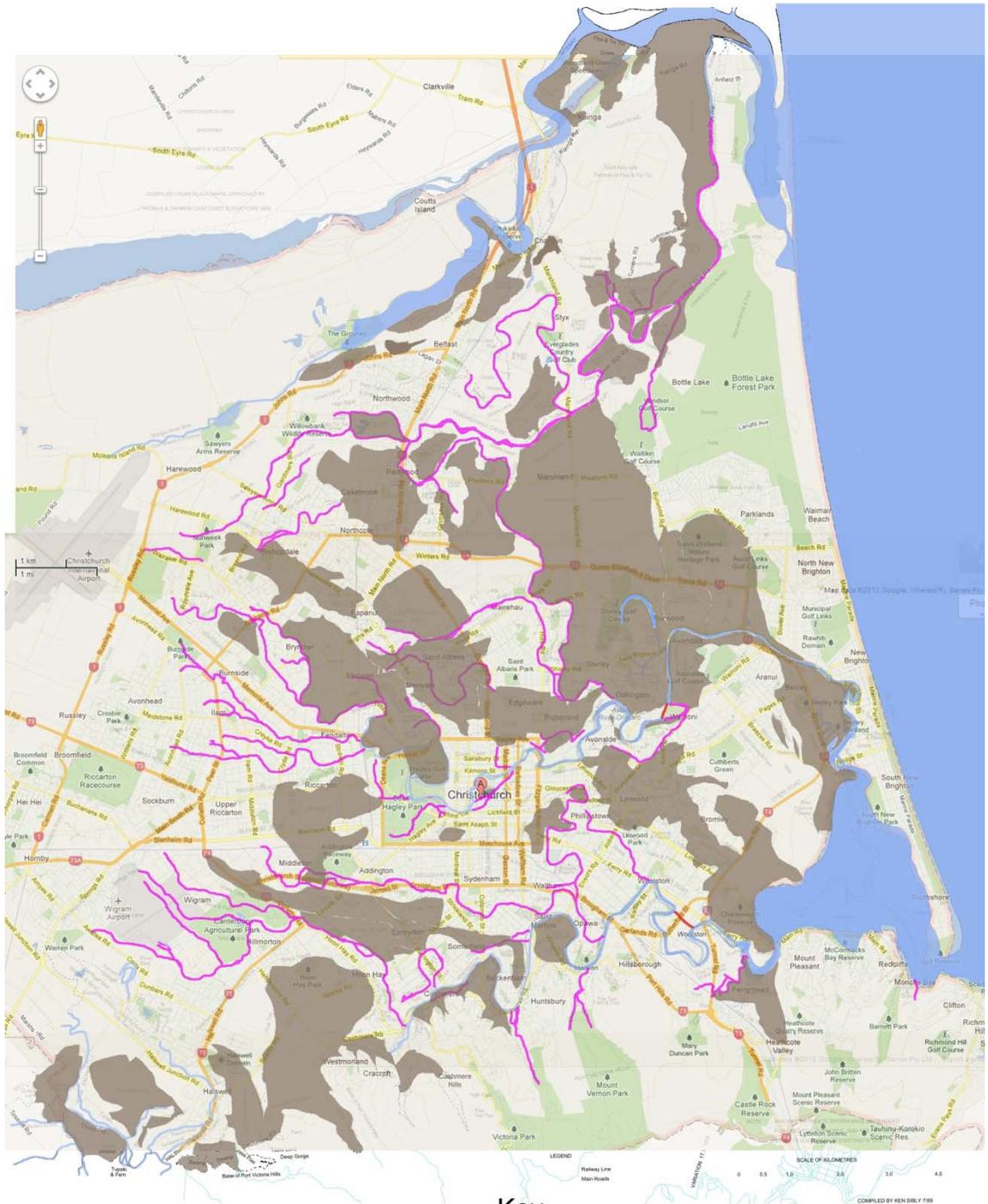
Forsyth PJ, Barrell DJA, Jongens R, 2008. Geology of the Christchurch area. Institute of Geological & Nuclear Sciences geological map 16.

Land Information New Zealand (LINZ) geospatial viewer (<http://viewers.geospatial.govt.nz/>)

EQC Project Orbit geotechnical viewer (<https://canterburyrecovery.projectorbit.com/>)



## Appendix A – Christchurch 1856 land use



The swamps and previous creeks/riders from 1856 have been overlaid onto a map of Christchurch in 2012

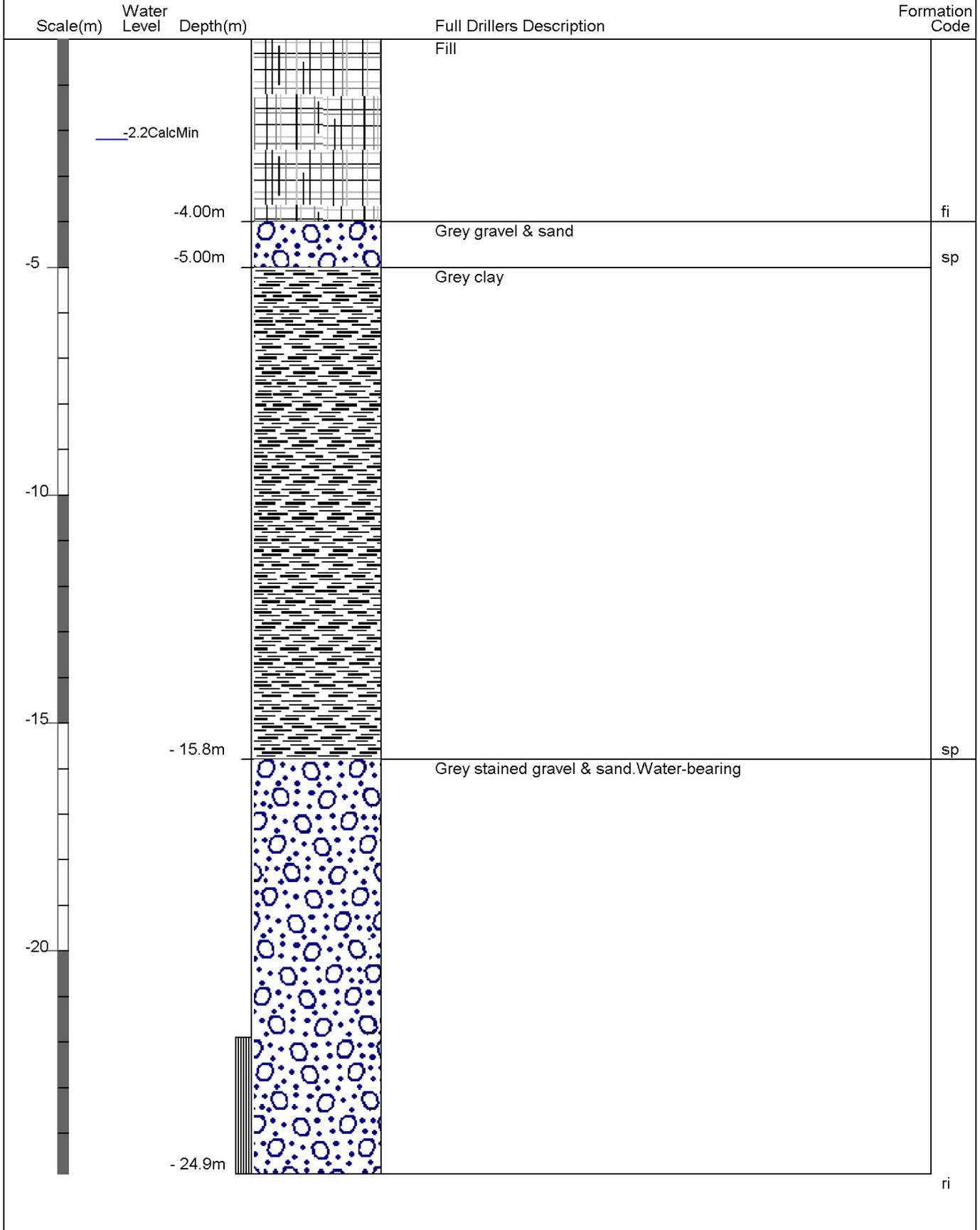
- Key**
- Previous creeks/riders
  - Existing creeks/riders
  - New creeks/riders
  - Swamp/Marshland



## **Appendix B – Existing ground investigation logs**

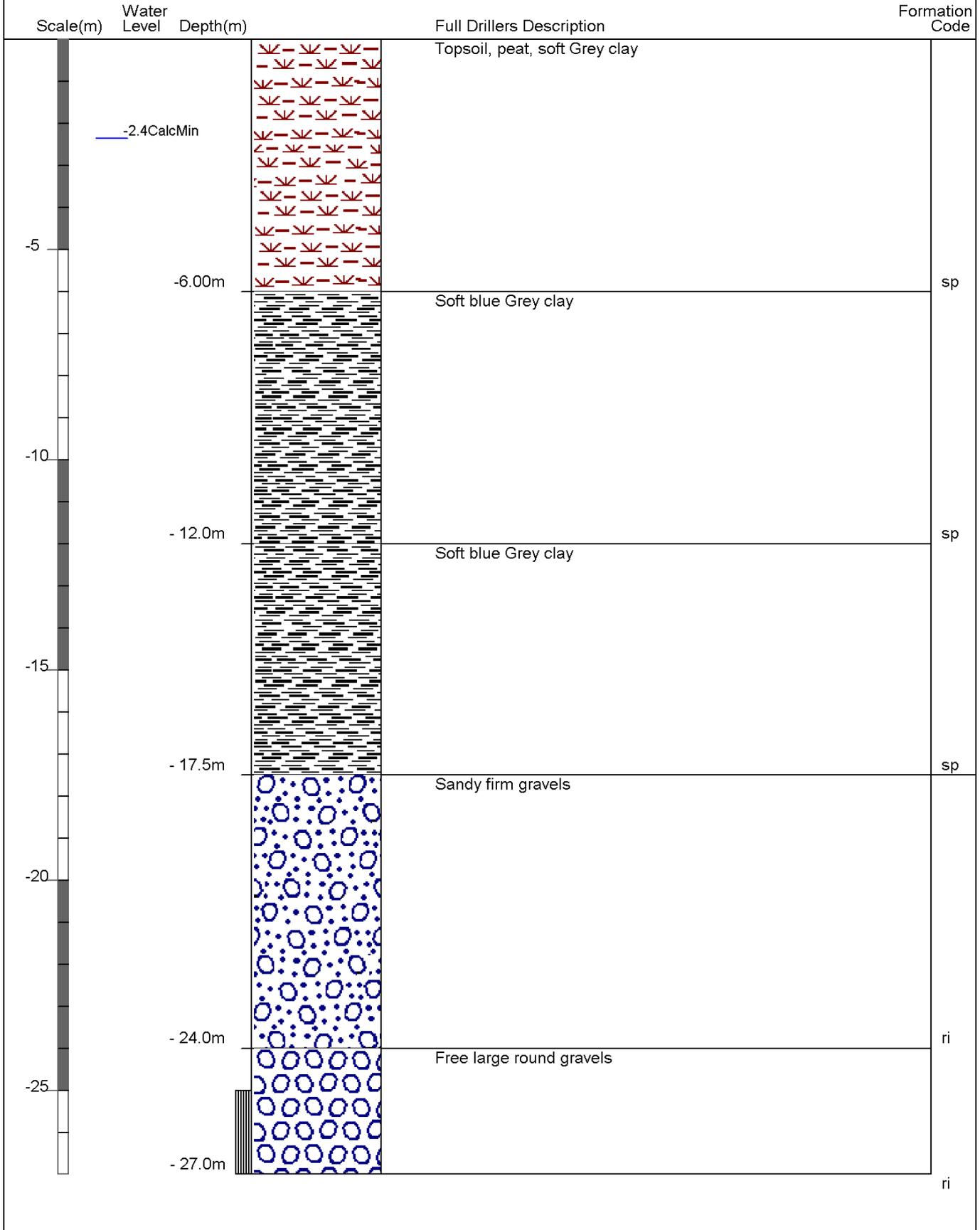
# Borelog for well M35/5250

Gridref: M35:7810-5045 Accuracy : 4 (1=best, 4=worst)  
 Ground Level Altitude : 11.2 +MSD  
 Driller : A M Bisley & Co  
 Drill Method : Cable Tool  
 Drill Depth : -24.9m Drill Date : 25/06/1985



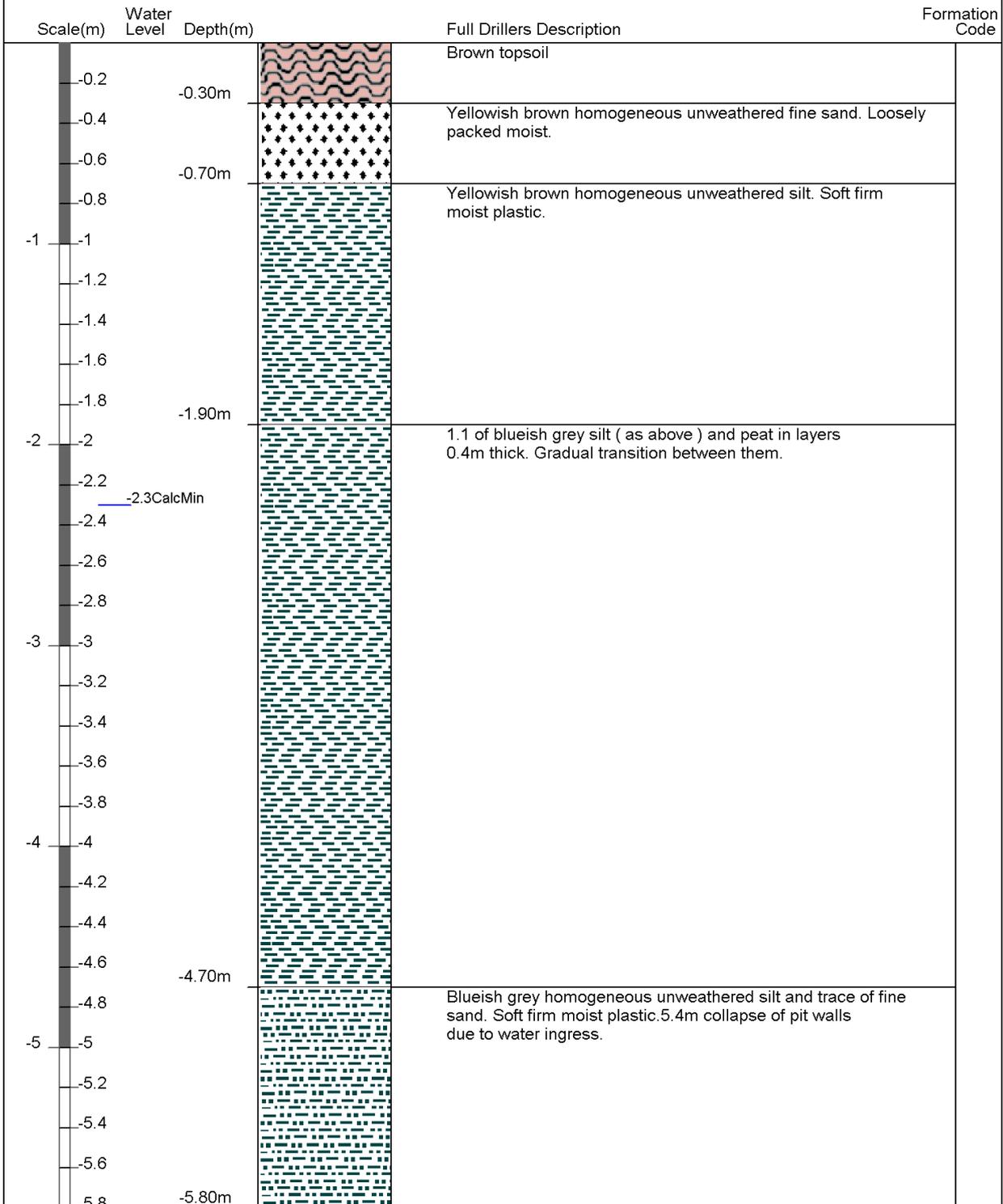
# Borelog for well M35/7885

Gridref: M35:7844-5053 Accuracy : 4 (1=best, 4=worst)  
 Ground Level Altitude : 13 +MSD  
 Driller : East Coast Drilling  
 Drill Method : Rotary Rig  
 Drill Depth : -27m Drill Date : 6/01/1998



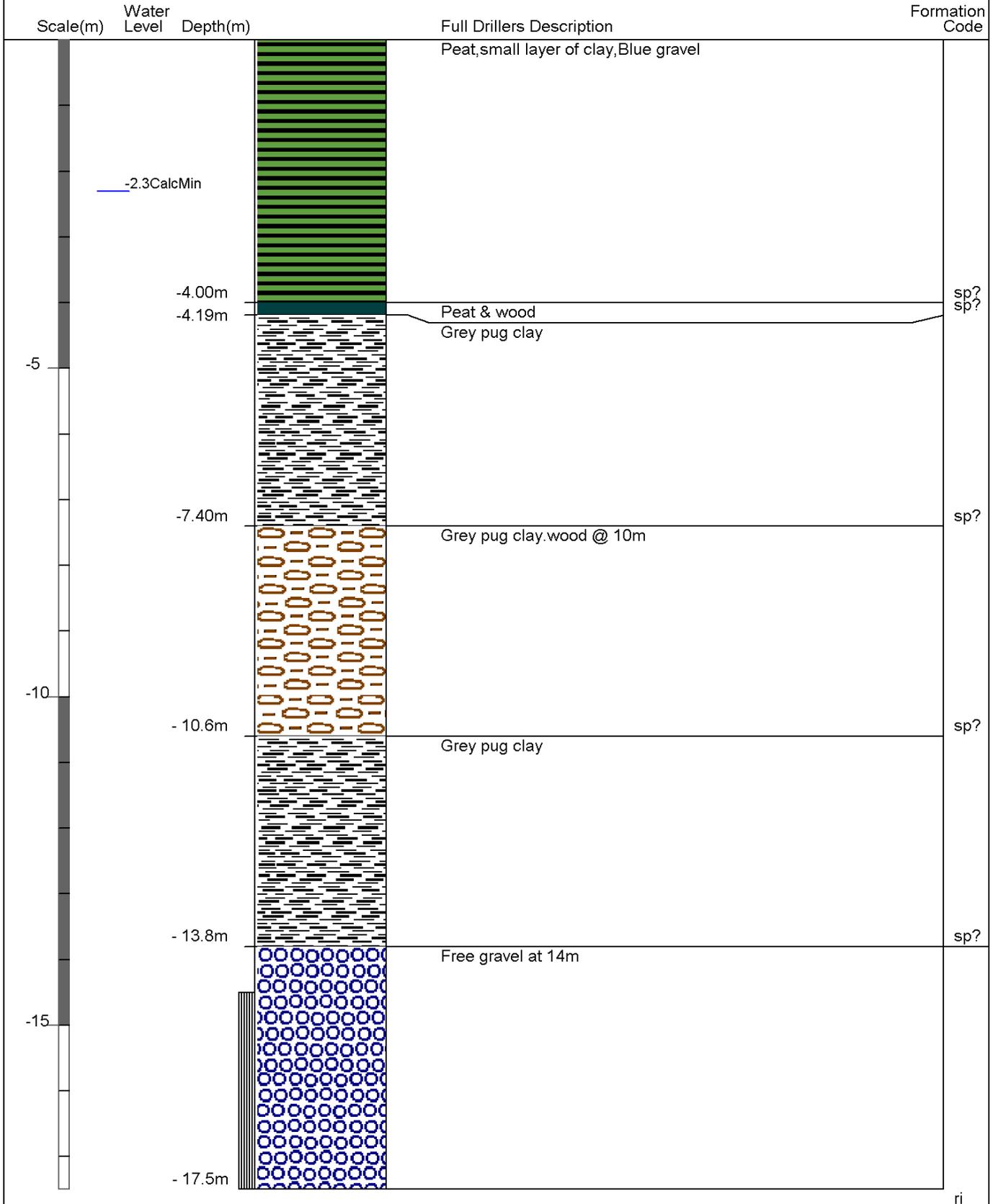
# Borelog for well M35/10305

Gridref: M35:78627-50764 Accuracy : 2 (1=high, 5=low)  
 Ground Level Altitude : 12.74 +MSD  
 Driller : Texco Drilling Ltd  
 Drill Method : Unknown  
 Drill Depth : -5.8m Drill Date : 6/07/2004



# Borelog for well M35/3475

Gridref: M35:785-505 Accuracy : 4 (1=best, 4=worst)  
 Ground Level Altitude : 13.1 +MSD  
 Driller : Smith, J R & I G  
 Drill Method : Cable Tool  
 Drill Depth : -17.5m Drill Date : 29/11/1983





## **Appendix C – Geotechnical Investigation Summary**



■ **Table 1 Summary of most relevant investigation data**

ID	1	2	3	4
Type *	BH	BH	BH	BH
Ref	M35-5250	M35-7885	M35-10305	M35-3475
Depth (m)	24.9	27	5.8	17.5
Distance from site (m)	30	150	200	160
Ground water level (mBGL)	2.2	2.4	2.3	2.3
Simplified recorded geological profile (depth below ground level to top of stratum, m)	0	Fill		
	1	Fill		
	2	Fill		
	3	Fill		
	4			
	5			
	6			
	7			
	8			
	9			
	10			
	11			
	12			
	13			
	14			
	15			
	16			
	17			
	18			
	19			
	20			
	21			
	22			
	23			
	24			
	25			
Greater depths				

\*BH: Borehole, HA: Hand Auger, WW: Water Well, CPT: Cone Penetration Test



VL = very loose, L = loose, MD = medium dense, D = dense, VD = very dense  
 VS = very soft, So = soft, F = firm, St = stiff, VS = very stiff, H = hard

*Note the shortest distance from the site boundary to the investigation location is provided in the table due to the very large footprint of the site*



## **Appendix D – Site Plan outlining the location of the building as named in the external site walkover**



Could not find – Toilets Kimihia? Or Toilets – CLOSED (behind toilet block?)